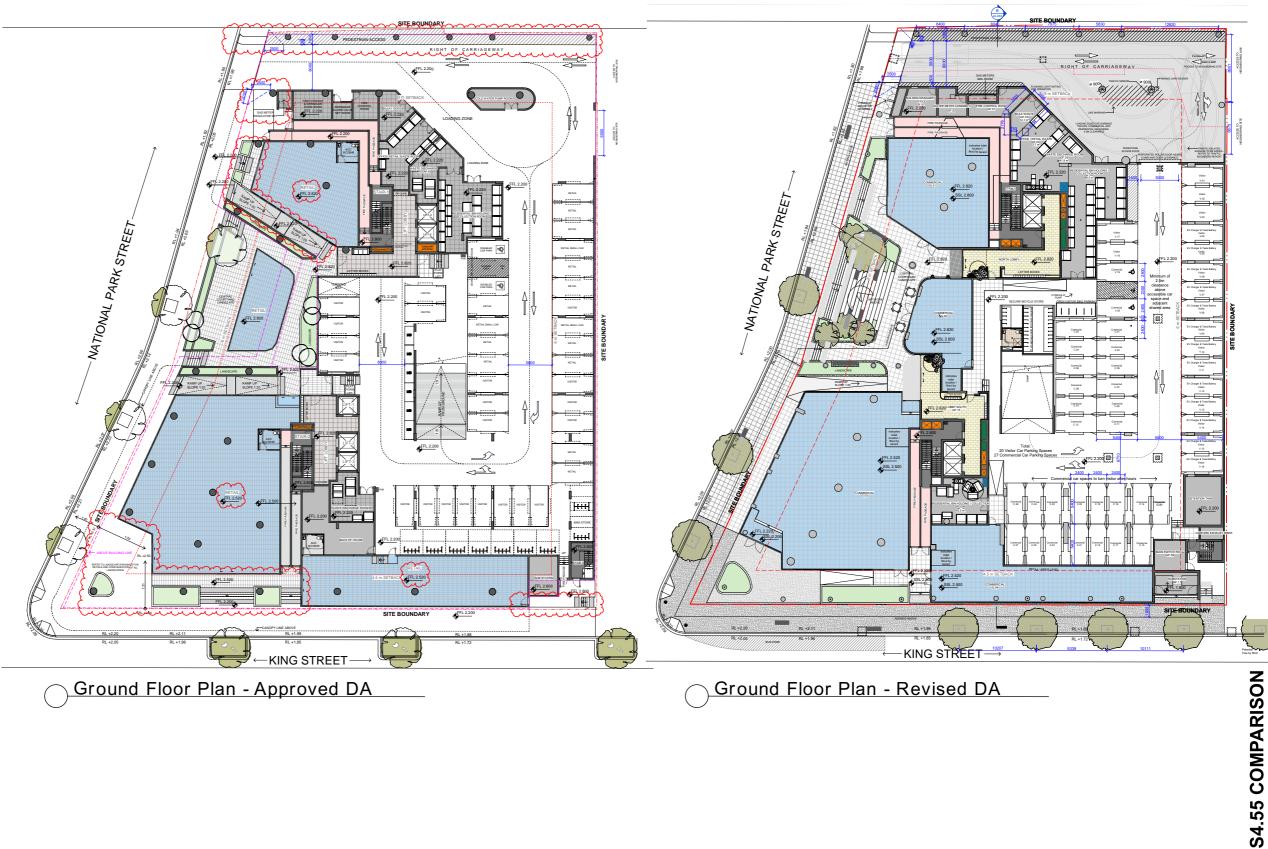
## **Ground Floor Plan**



marchesepartners

CKDS

admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

#### **National Park Street** 180446

Ground





1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright refer any discrepancies to the check and verify all di re work, do not scale d

## **Ground Floor Plan**

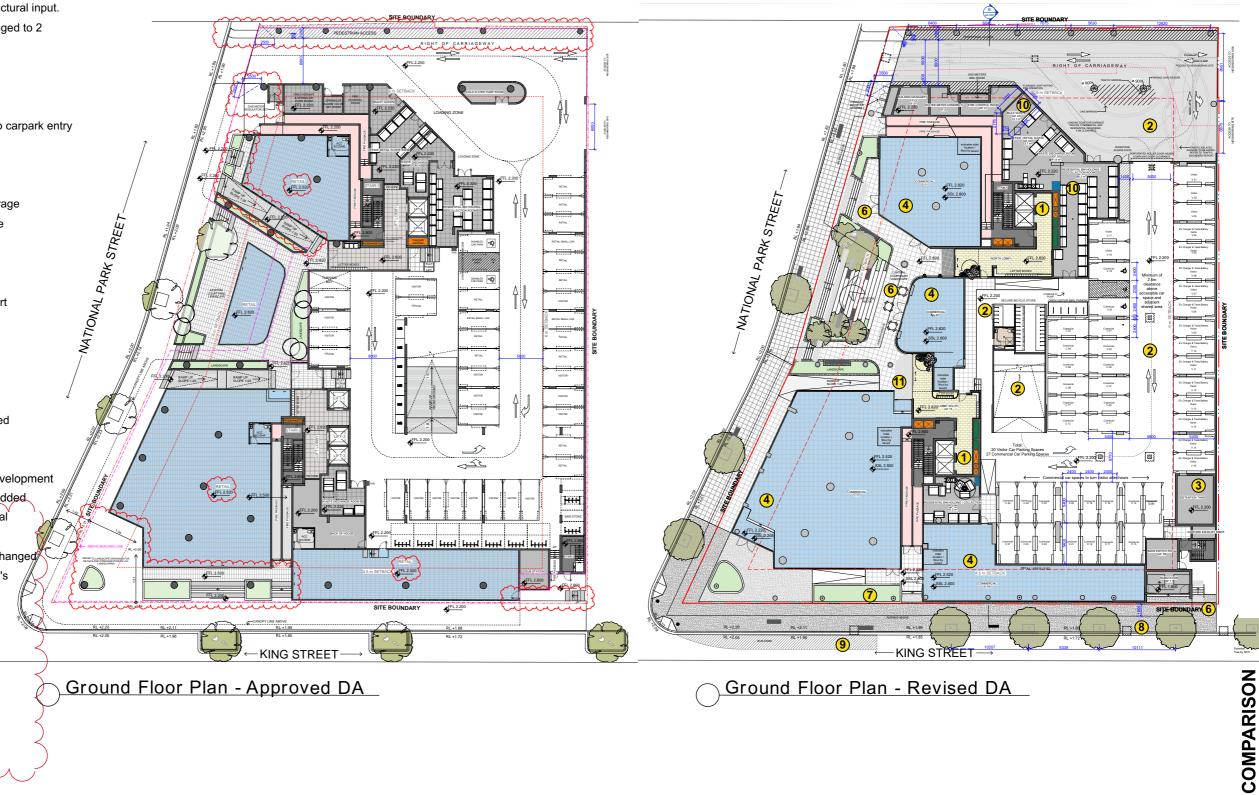
### Key Changes: 1. Lobbies changed:

a) Lift locations consolidated with stair following structural input.

- b) South Tower only, ground to level 04 3 lifts changed to 2
- 2. Carpark rationalised to increase efficiencies:
- a) Vehicle ramp moved to the West
- b) Double stack carparks added
- c) Notes added to confirm carpark clearances
- d) Secure roller gate & pedestrian access added to carpark entry
- e) MRV turning circles added
- e) Traffic Mirror & card reader
- f) End of Trip Facility added
- g) Bike storage reconfigured to include secure storage
- h) 12 EV charging points added to visitor car space
- 3. Detention tank added
- 4. Commercial changes
- a) Minor adjustments to floor plan geometry
- b) G.02 integrated into podium to increase forecourt
- c) Accessible bathroom added to G.02
- d) G.02 shopfront extended to the West
- e) G.03 shopfront extended to the West
- f) Columns adjusted following structural feedback
- 6. Increase depth of forecourt
- a) Improved design and access north ramp deleted
- b) Public art location
- c) Additional external cafe seating
- d) Address, feature and public interface of the development
- 6. Increase to substation size & main switch room added
- 7. Entry steps and ramp adjusted between commercial tenancies 3 & 4. Landscape planter bed adjusted
- to integrate with ramp design. Entry to tenancy 3 changed 8. King Street, street trees adjusted following Council's
- advice
- 9. Bus zone indicated at King Street front.
- 10. Clarifications to the Waste Store added.
- Area for 'Bulky Waste Goods' identified.
- Area for each waste store added.
- 11. Entry to south tower lobby.
- a) Glazing width increased
- b) ramp and planter adjusted to open the space

marchesepartners

up in front of the entry



Ground Floor Plan - Approved DA

Ground Floor Plan - Revised DA



P.O. Box 958 Newcastle NSW Australia

#### **National Park Street** 180446

Ground - noted

1.5

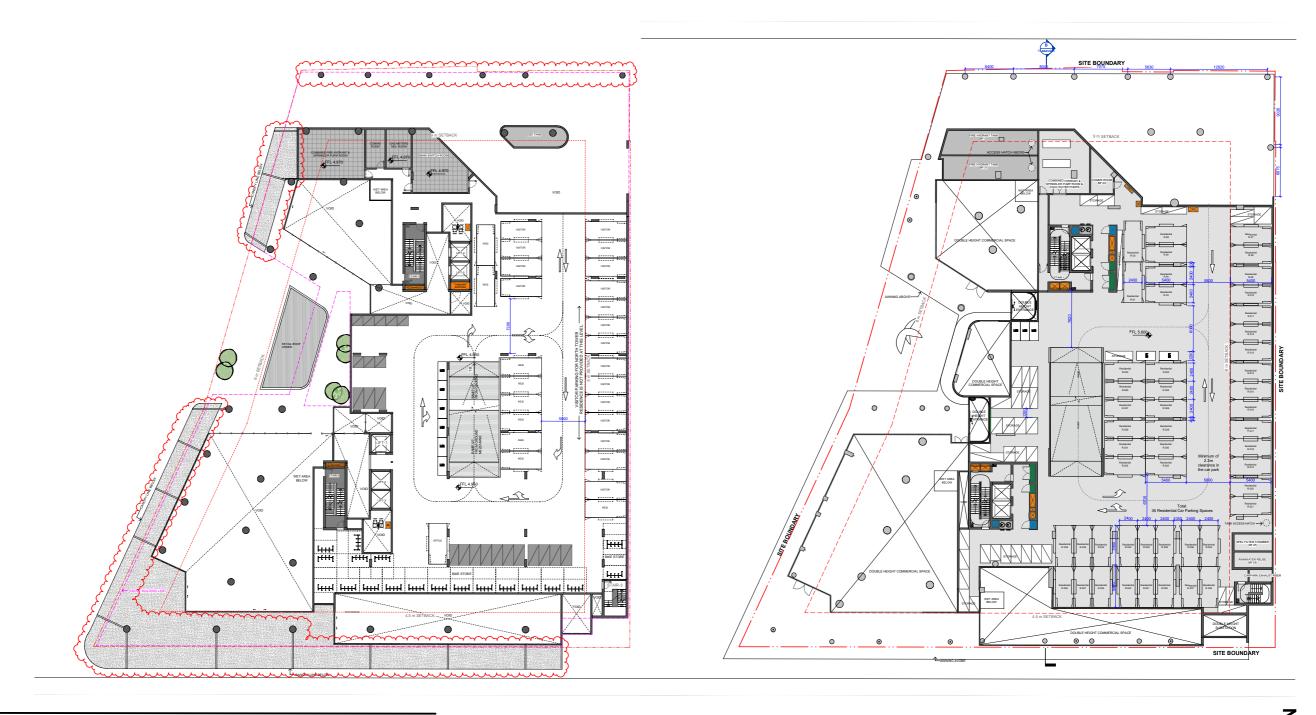


52 **S4**.

1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of CKD refer any discrepancies to the designer TD check and verify all dim th the work, do not scale dr.

## **Ground Floor Plan - Mezzanine**



<u>Ground Floor Plan - Mezzanine - Approved DA</u>

Ground Floor Plan - Mezzanine - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

#### National Park Street 180446

Ground - Mezzanine

drawing #
1.6



1, 17, 19 National Park Street + 484 King Street

# S4.55 COMPARISON

## **Ground Floor Plan - Mezzanine**



admin@ckds.com.au www.ckds.com.au

Ph 02 4929 1843 NCN 129 231 269

P.D. Box 958 Newcastle NSW Australia

CKDS

<u> Ground Floor Plan - Mezzanine - Approved DA</u>

Ground Floor Plan - Mezzanine - Revised DA

marchesepartners

# S4.55 COMPARISON

#### National Park Street 180446

Ground - Mezzanine - Noted

1.7



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of CK refer any discrepancies to the design LTD check and verify all o with the work, do not scale

## Level 01 - Office Space



Level 01 - Office Space - Approved DA



marchesepartners

CKDS

admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

Level 01 - Office Space - Revised DA

# S4.55 COMPARISON

#### **National Park Street** 180446

L.01 Level 1

drawing #
1.8



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright refer any discrepancies to the check and verify all di re work, do not scale o

## Level 01 - Office Space

#### **Key Changes:**

1. Lobbies changed:

- a) Lift locations consolidated with stair following structural input.
- b) South Tower only, ground to level 04 3 lifts changed to 2
- c) Geometry of lobbies adjusted following detailed planning
- 2. Carpark rationalised to increase efficiencies:
- a) Vehicle ramp moved to the West
- b) Double stack carparks added
- c) Bike storage replaced with storage allocated to units
- d) Car spaces added to the South
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
- a) Minor adjustments to floor plan geometry
- b) G.02 pushed back to provide more generous forecourt
- c) G.02 shopfront extended to the West
- d) G.04 shopfront extended to the West
- e) Columns adjusted following structural feedback
- 5. Changes near forecourt
- a) Increase depth of fourcourt
- b) Commercial roof & void removed



Level 01 - Floor Plan - Approved DA

Level 01 - Floor Plan - Revised DA

marchesepartners

## SKDS

admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 AEN 129 231 269



#### National Park Street 180446

L.01 Level 1 - noted

1.9

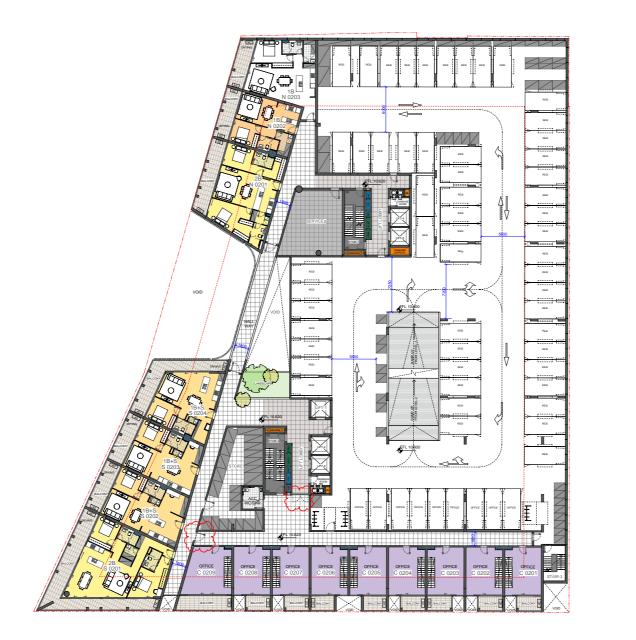


1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of CKI refer any discrepancies to the designe "D check and verify all di h the work, do not scale o

S4.55 COMPARISON

## Level 02 - Typical Podium Units



Level 02 Plan - Typical Podium Units - Approved DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 VEN 129 231 269



Level 02 Plan - Typical Podium Units - Revised DA

# S4.55 COMPARISON

#### **National Park Street** 180446

L.02 - Typical Podium Units

1.10



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyri refer any discrepancies to the

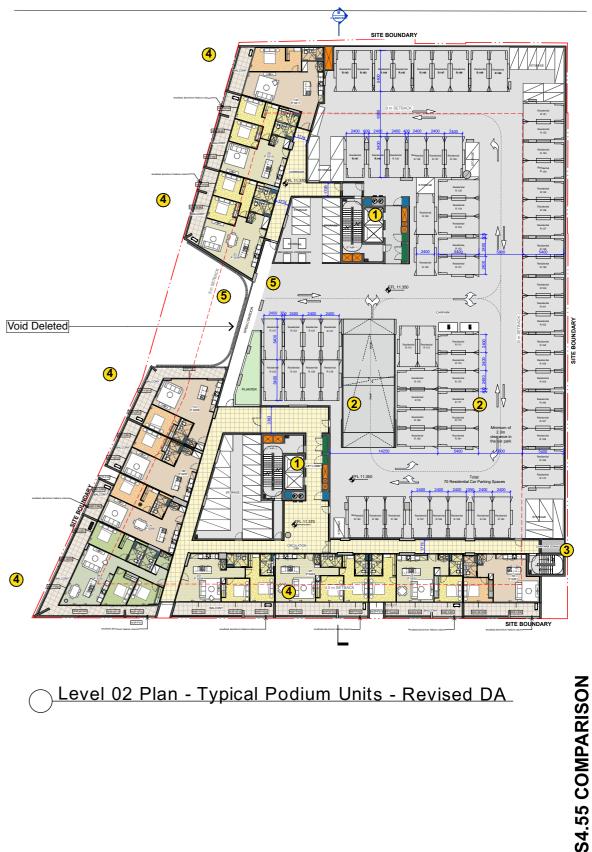
## Level 02 - Typical Podium Units

#### **Key Changes:**

1. Lobbies changed:

- a) Lift locations consolidated with stair following structural input.
- b) South Tower only, ground to level 04 3 lifts changed to 2
- c) Geometry of lobbies adjusted following detailed planning
- 2. Carpark rationalised to increase efficiencies:
- a) Vehicle ramp moved to the West
- b) Double stack carparks added
- c) Bike storage replaced with storage allocated to units
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
- a) Minor planning changes to Units P0206-09, P0211
- b) Unit P0210 changed from 1 bed to 2 bed
- c) Upper level office spaces changed to 4 units
- 5. Changes near forecourt
- a) Increase depth of forecourt
- b) Commercial roof & void removed





<u>Level 02 Plan - Typical Podium Units - Approved DA</u>

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 NCN 129 231 269

#### National Park Street 180446

L.02 - Typical Podium Units - Noted

1.11



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright or refer any discrepancies to the de or electronically, drawing shall on D check and verify all o

## Level 03 Plan



Level 03 Plan - Approved DA

Level 03 Plan - Revised DA

marchesepartners

CKDS

admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### **National Park Street** 180446

1, 17, 19 National Park Street + 484 King Street

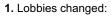
L.05 - Level 3 drawing #
1.12

<sup>issue</sup> 18/4/2023

as noted this document is the copyright refer any discrepancies to the d check and verify all di re work, do not scale o

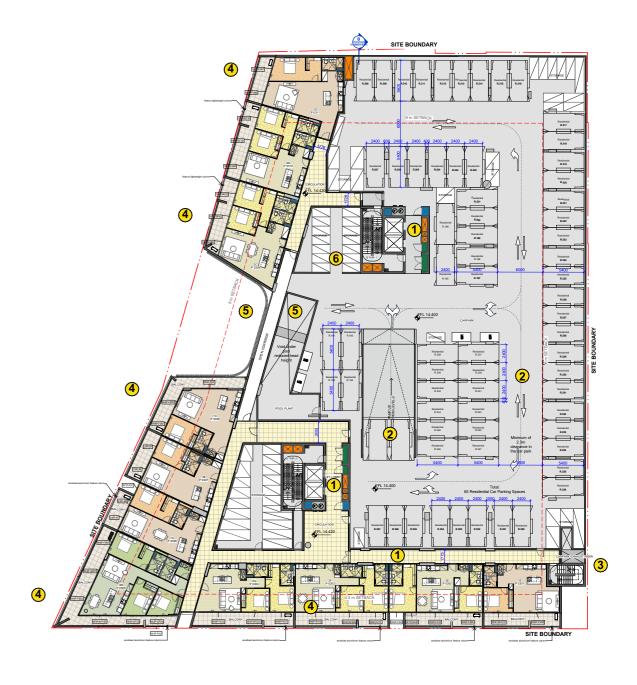
### Level 03

#### Key Changes:



- a) Lift locations consolidated with stair following structural input.
- b) South Tower only, ground to level 04 3 lifts changed to 2
- c) Geometry of lobbies adjusted following detailed planning
- d) Corridor added to South tower to access units
- e) Lobby adjusted to North tower
- 2. Carpark rationalised to increase efficiencies:
- a) Vehicle ramp moved to the West
- b) Double stack carparks added
- c) Bike storage replaced with storage allocated to units
- d) Motorbike spaces added
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
- a) Minor planning changes to Units P0306-09, P0311
- b) Unit P0310 changed from 1 bed to 2 bed
- c) 9 x 2 bed duplexes to the South changed to 3 x 2 bed, 1 x 1 bed
- 5. Changes near forecourt
- a) Increase depth of forecourt
- b) void removed, pool plant added
- 6. Services removed from carpark and replaced with storage open to carpark





Level 03 Plan - Approved DA

Level 03 Plan - Revised DA

marchesepartners

SKDS

admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 AEN 129 231 269

#### **National Park Street** 180446

L.05 - Level 3 - Noted

1.13



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of CKI refer any discrepancies to the designe D check and verify all di h the work, do not scale o

# S4.55 COMPARISON

## Level 04 - Podium Top



<u>Level 04 Plan - Podium Top - Approved DA</u>

Level 04 Plan - Podium Top - Revised DA

marchesepartners

admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ADN 129 231 269



#### National Park Street 180446

L.04 - Podium Top

drawing #
1.14



1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of OOS Architecture PTY LTD check and verty al dimensions on site. refer any discregancies to the dissigner tenders proceeding with the work, do not scale charings manually electronicity, densing shall not be used for construction will seaded for seaded will be appressed will be appressed will be appressed will b

## Level 04 - Podium Top

#### **Key Changes:**

1. Lobbies changed:

- a) Lift locations consolidated with stair following structural input.
- **b)** South Tower only, ground to level 04 3 lifts changed to 2
- c) Geometry of lobbies adjusted following detailed planning
- 2. Communal Facilities enhanced:

#### a) Pool added to void

- b) Cinema room added in lieu of library
- c) Recreation room moved to the location next to the pool
- d) Minor adjustments to landscaping responding to new planning
- e) Gym added with amenities and end of trip facilites
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
- a) Minor planning changes generally
- b) Unit P0409 changed from 1 bed to 2 bed
- c) 9 x 2 bed duplexes to the South changed to 3 x 2 bed, 1 x 1 bed
- d) Unit P0409 changed from 1 bed to 2 bed
- 5. Separation between North and South towers decreaseda) minor decrease in landscaping and balcony
- 6. Balcony articulation revsied
- 7. Apartments reconfigured:
- a) Through link removed
- **b)** number of duplexes to the east changed from 6 to 4, and 1 2 bed unit.
- 8. Landscape removed to provide maintenance access





CLevel 04 Plan - Podium Top - Approved DA

Level 04 Plan - Podium Top - Revised DA





admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph. 02.4929.1843 ACN 129.231.269

# S4.55 COMPARISON

#### National Park Street 180446

L.04 - Podium Top - Noted

1.15

as noted



1, 17, 19 National Park Street + 484 King Street

this document is the copyright of CKDS Architecture PTY LTD check and verify all dimensions on site. refer any discrepancies to the designer before proceeding with the work, do not scale drawings manually creatertimized, drawing shall not be used for construction until issued for construction by designer.

### Level 05 Plan





Level 05 Plan - Approved DA

Level 05 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

#### **National Park Street** 180446

L.05 - Level 5 drawing# **1.16** 



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyrig refer any discrepancies to the heck and verify all di e work, do not scale o

## Level 05 Plan

### Key Changes: 1. Lobbies changed lift locations, consolidated with stair

following structural input

2. Awning extended across unit S0504, landscaping increased

3. Minor alterations to unit layouts and circulation

a) Units N0502 & N0503 changed from 1 bed to 2 bed b) Unit N0404 external footprint adjusted

c) North tower units reconfigured & numbers reduced from 10 to 9 (1 duplex removed)

d) South tower units reconfigured & numbers reduced from 9 to 8 (2 x 1 bed changed to 1 x 3 bed unit)

4. Separation between south tower and duplexes has

decreased and balcony size to units S0401-S0404 decreased.

Anodised aluminium screens added

5. Setbacks to boundaries remains the same

6. Minor alterations to tower geometry and construction detail

7. Carpark exhaust has been relocated to southeast

-8. Balconies added to duplex's as a privacy buffer 9. Vertical external screens added





Level 05 Plan - Approved DA

Level 05 Plan - Revised DA

marchesepartners

SKDS

admin@ckds.com.au www.ckds.com.au P.O. Box 958 Newcastle NSW Australia Ph 02 4929 1843 NCN 129 231 269

# S4.55 COMPARISON

#### National Park Street 180446

1, 17, 19 National Park Street + 484 King Street

L.05 - Level 5 - Noted

1.17

02 18/4/2023

as noted this document is the copyright or refer any discrepancies to the de or electronically, drawing shall on check and verify all o

## Level 06 Plan





Level 06 Plan - Approved DA

Level 06 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

180446

## **National Park Street**

L.06 - Level 6 drawing #
1.18



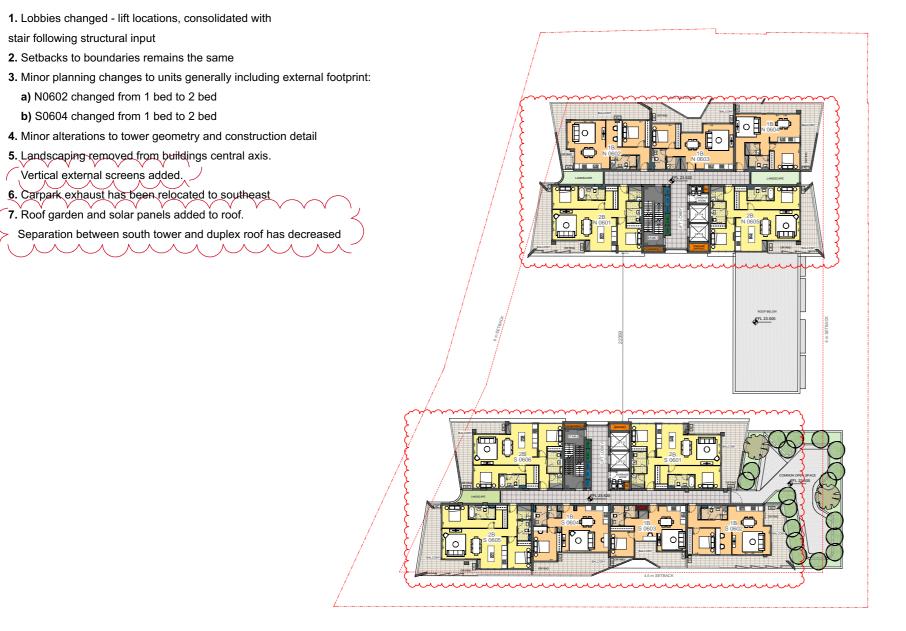
S4.55 COMPARISON

1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright refer any discrepancies to the

## Level 06 Plan

#### Key Changes:





Level 06 Plan - Approved DA

Level 06 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

# S4.55 COMPARISON

#### National Park Street 180446

L.06 - Level 6 - Noted

1.19



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of refer any discrepancies to the design or electronical

### Level 08 - Typical Tower



<u>Level 08 Plan - Typical Tower - Approved DA</u>

Level 08 Plan - Typical Tower - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



## National Park Street

L.08 - Typical Tower drawing # **1.20** 



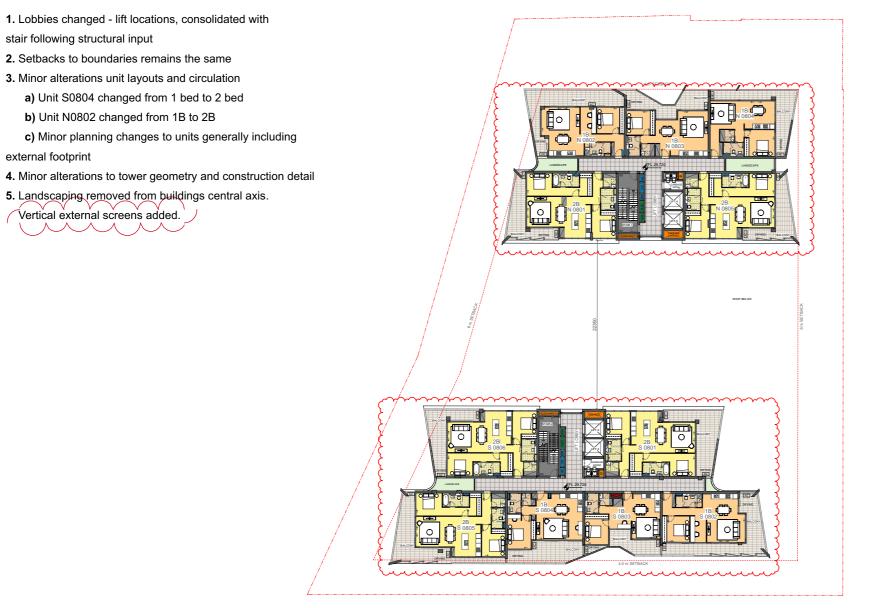
1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of CASS Architecture PTY LTD check and verify al dimensions on site. refer any discrepancies to the dissigner before proceeding with the work, do not scale draming minaulay electronicity, draming shall not be used for construction will seaded for seaded will be appressed for seaded will be appressed for seaded will be appressed with the appression with the appression will be appressed with the appression with the

# S4.55 COMPARISON

## Level 08 - Typical Tower

#### **Key Changes:**



Level 08 Plan - Typical Tower - Approved DA

marchesepartners

SKDS

admin@ckds.com.au www.ckds.com.au P.O. Box 958 Newcastle NSW Australia Ph 02 4929 1843 AEN 129 231 269



Level 08 Plan - Typical Tower - Revised DA

# S4.55 COMPARISON

#### National Park Street 180446

L.08 - Typical Tower - Noted

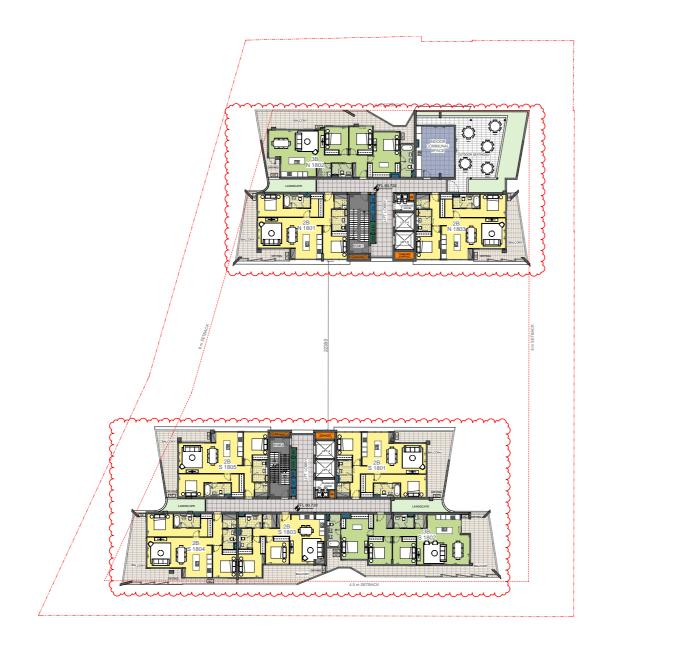
1.21



1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright or refer any discrepancies to the de or electronically, drawing shall on LTD check and verify all di with the work, do not scale o

## Level 18 - Planning



Level 18 Plan - Approved DA

Level 18 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### **National Park Street** 180446





1, 17, 19 National Park Street + 484 King Street

this document is the copyright refer any discrepancies to the ) check and verify all dim the work. do not scale dr

## Level 18 - Planning

#### **Key Changes:**

1. Lobbies changed - lift locations, consolidated with stair following structural input

2. Communal space removed in line of unit too NW corner of north tower

3. Setbacks to boundaries remains the same

4. Minor alterations unit layouts and circulation

a) Minor planning changes to units generally including external footprint

5. Minor alterations to tower geometry and construction detail

6. Landscaping removed from buildings central axis





Level 18 Plan - Approved DA

Level 18 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### National Park Street 180446

L.18 - Noted

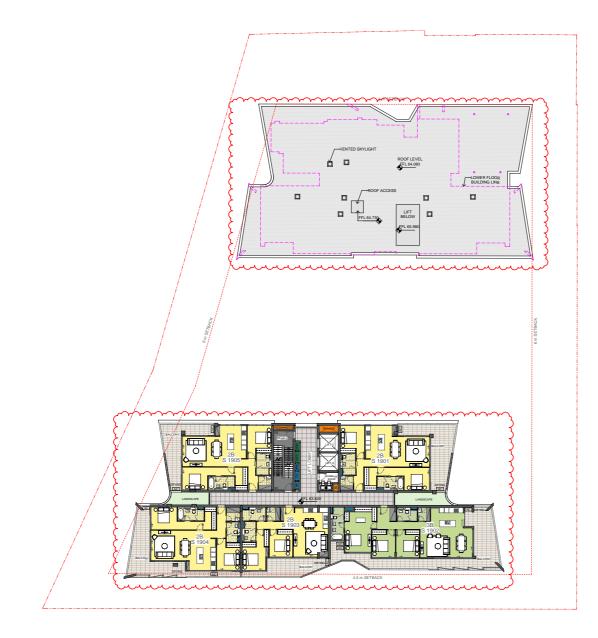




1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of refer any discrepancies to the de D check and verify all dim 1 the work. do not scale dra

## Level 19 - Planning



Level 19 Plan - Approved DA

Level 19 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### **National Park Street** 180446





1, 17, 19 National Park Street + 484 King Street

this document is the copyrig refer any discrepancies to the check and verify all di re work, do not scale o

## Level 19 - Planning

#### **Key Changes:**

1. Lobbies changed - lift locations, consolidated with stair following structural input 2. Setbacks to boundaries remain the same 3. Minor alterations unit layouts and circulation a) Minor planning changes to units generally including external footprint 4. Minor alterations to tower geometry and construction detail 5. Landscaping removed from buildings central axis Vertical external screens added LOWER FLOOR 6. Additional level added to North tower, comprised of LIFT BELOW communal space, solar and services FFL 64.730 MUMMMM  $\bigcirc$ 

Level 19 Plan - Approved DA

Level 19 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### National Park Street 180446

L.19 - Noted

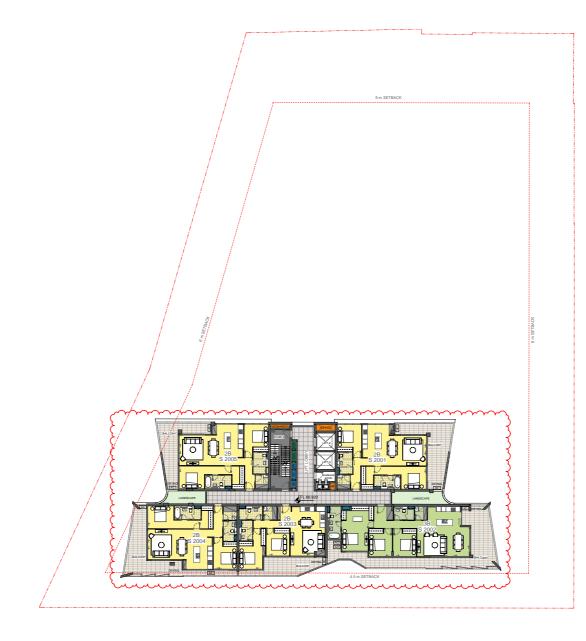




1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright of refer any discrepancies to the de ) check and verify all dim the work, do not scale dr

## Level 20 - Planning



Level 20 Plan - Approved DA

Level 20 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### **National Park Street** 180446





1, 17, 19 National Park Street + 484 King Street

this document is the copyrig refer any discrepancies to the check and verify all di re work, do not scale o

## Level 20 - Planning

#### Key Changes:

1. Lobbies changed - lift locations, consolidated with stair following structural input

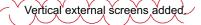
2. Setbacks to boundaries remain the same

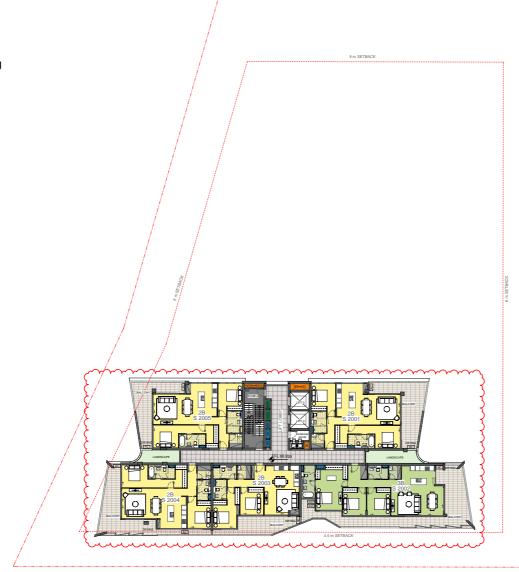
3. Minor alterations unit layouts and circulation

a) Minor planning changes to units generally including external footprint

4. Minor alterations to tower geometry and construction detail

5. Landscaping removed from buildings central axis





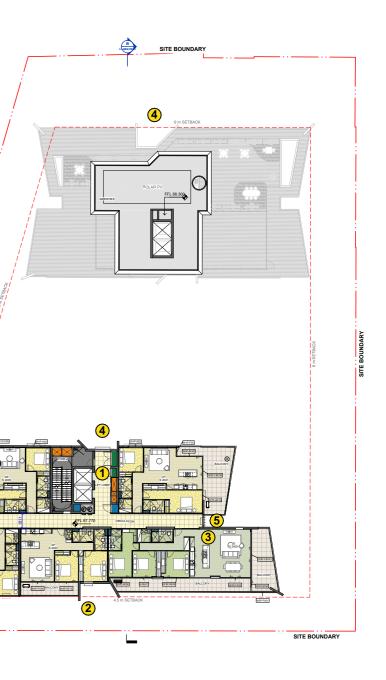
Level 20 Plan - Approved DA

Level 20 Plan - Revised DA

marchesepartners



admin@ckds.com.au www.ckds.com.au P.D. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269



# S4.55 COMPARISON

#### National Park Street 180446

L.20 - Noted

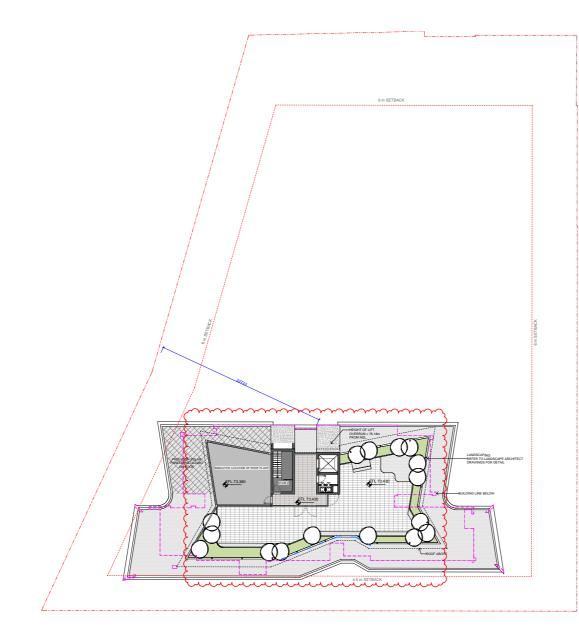
1.27

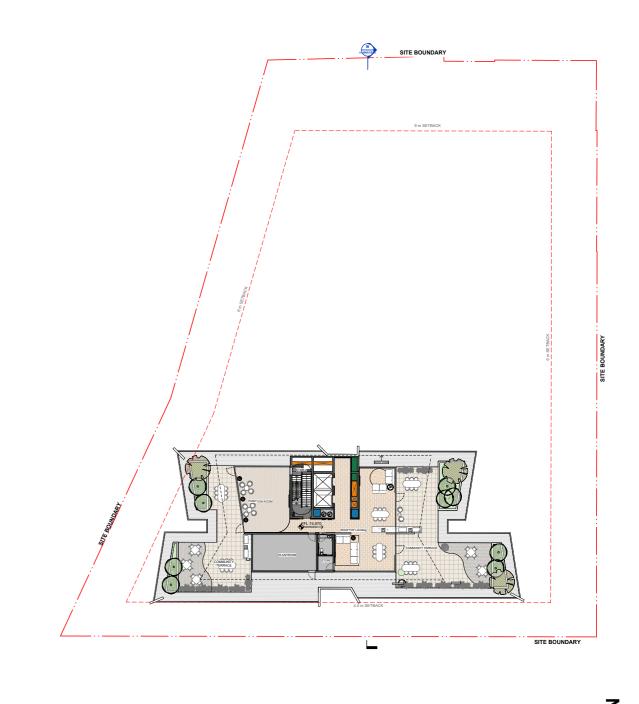


1, 17, 19 National Park Street + 484 King Street

as noted this document is the copyright refer any discrepancies to the check and verify all di he work, do not scale o

### **Roof - Planning**





Roof Plan - Approved DA

<u>Roof Plan - Revised DA</u>

marchesepartners



admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 ACN 129 231 269

#### National Park Street 180446



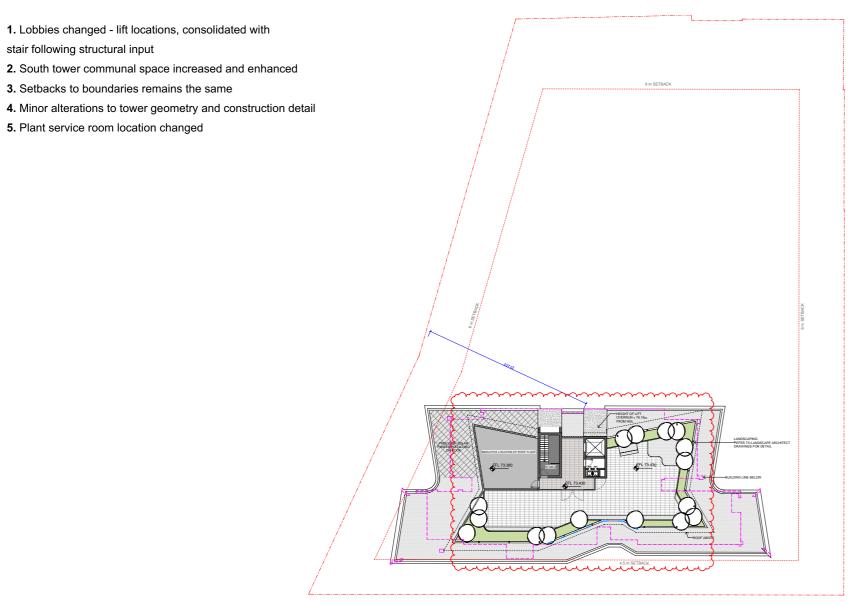


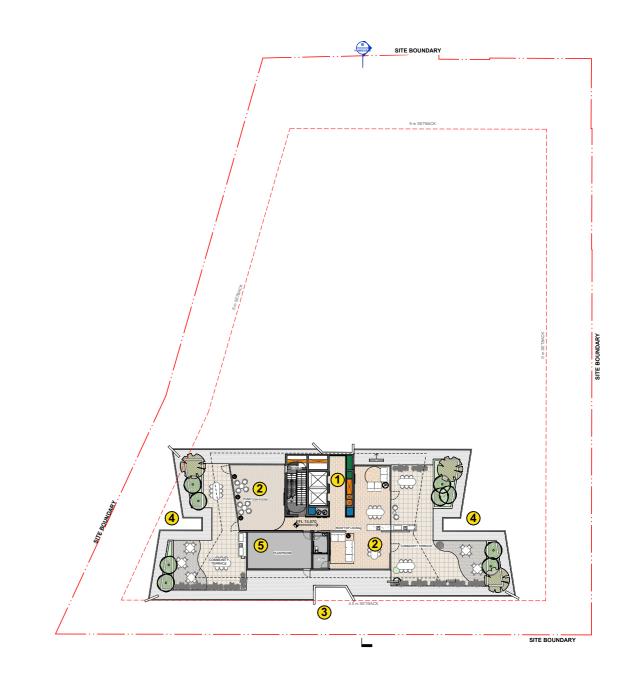
1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of OOS Architecture PTY LTD check and verty al dimensions on site. refer any discregancies to the dissigner tenders proceeding with the work, do not scale charings manually electronicity, densing shall not be used for construction will seaded for seaded will be appressed will be appressed will be appressed will be appressed will be appressed

## **Roof - Planning**

#### Key Changes:





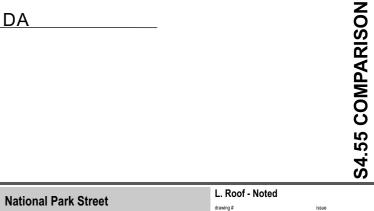
<u>Roof Plan - Approved DA</u>

<u>Roof Plan - Revised DA</u>

marchesepartners



admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ADN 129 231 269



1.29

## National Park Street



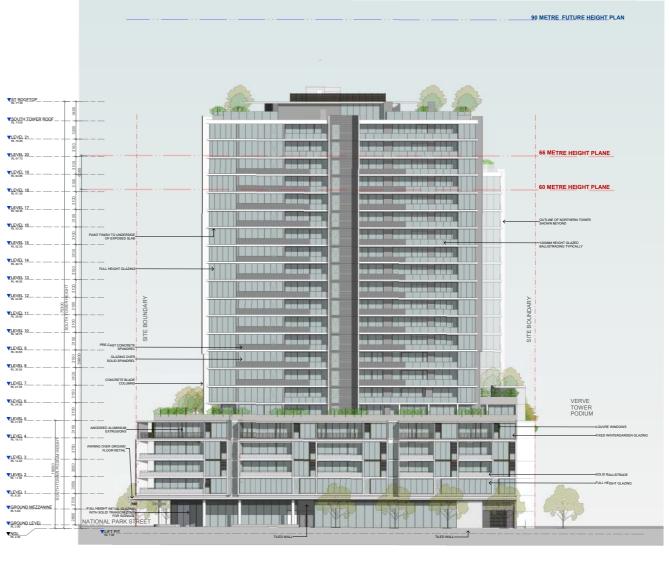
1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of OCIS Architecture PTV LTD check and verty al dimensions on site. refer any discrepancies to the designer tentore proceeding with the work, or not scale charings manually electronicity, designer and an use used for construction will seed for seed for the construction will seed for the seed for seed for the construction will seed for the seed for seed for the construction will seed for the seed form the seed for the seed for the seed

## **Elevation 01 - King St**



<u> Elevation 01 - Approved DA</u>



<u> Elevation 01 - Revised DA</u>

marchesepartners

CKDS Ph B2 AN 12

admin@ickds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 ACN 129 231 269

F

#### National Park Street 180446

Elevation 01 - King St

drawing #

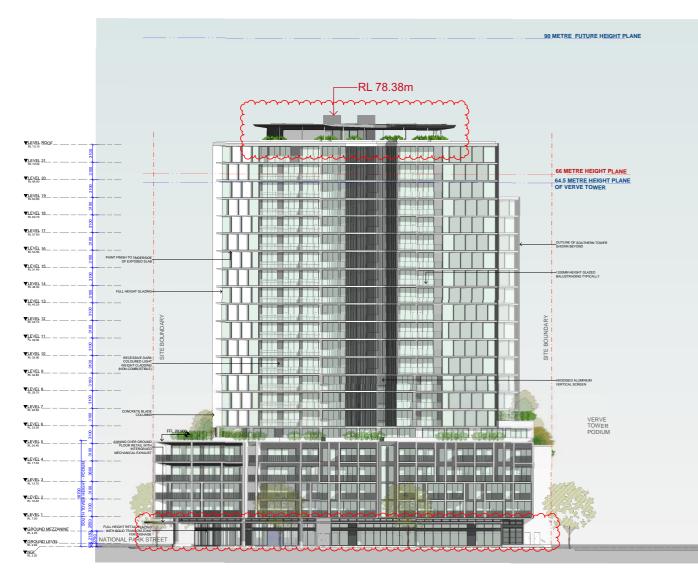


1, 17, 19 National Park Street + 484 King Street

1.30 02

as noted 18/4/2023 the document is the copyright of CKOS Architecture PTY LTD check and vefy all dimensions on site, refer any discregancies to the dissigner before proceeding with the work, do not scale drawings manually electronicity, drawing sell and the used for correcturion unit biased for construction velocations.

## **Elevation 01 - King St**



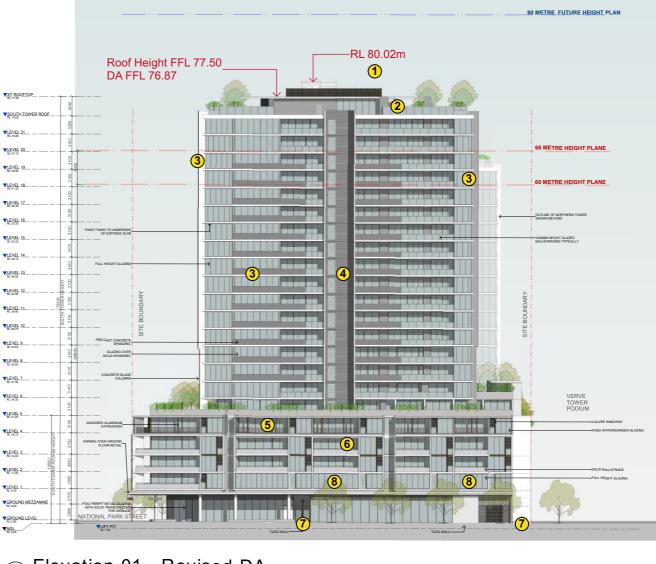
Elevation 01 - Approved DA

#### **Key Changes:**

1. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50. 2. Rooftop communal area on South building has been increased.

3. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.

4. A central pre-cast slot has been introduced to articulate the tower forms and address councils request for reduction of horizontal design language on the tower.



Elevation 01 - Revised DA

55 COMPARISON 5. Podium - The podium has been re-evaluated to align with preferred building methodologies reflecting the current economic climate. Anodised aluminium feature columns on the balconies are proposed and the design simplified. 6. Solid balustrades to podium levels have been introduced along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street. 7. Increase to substation along King Street. Tiled wall proposed to address substation requirements. Louvre screens similar to Verve proposed for the substation. 8. Enclosure of commercial batcony areas on Level 1 to increase overall commercial floor area. **S4**. Elevation 01 - King St - Noted admin@ckds.com.au vww.ckds.com.au **National Park Street** 1.31 180446

## marchesepartners

## SKDS

20. Box 958 Vewcastle NSW Australia h O2 4929 1843 EN 129 231 269

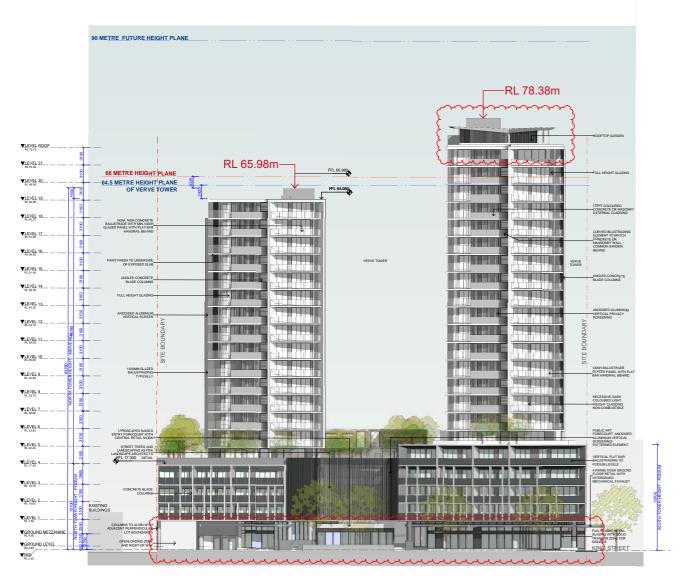


1, 17, 19 National Park Street + 484 King Street

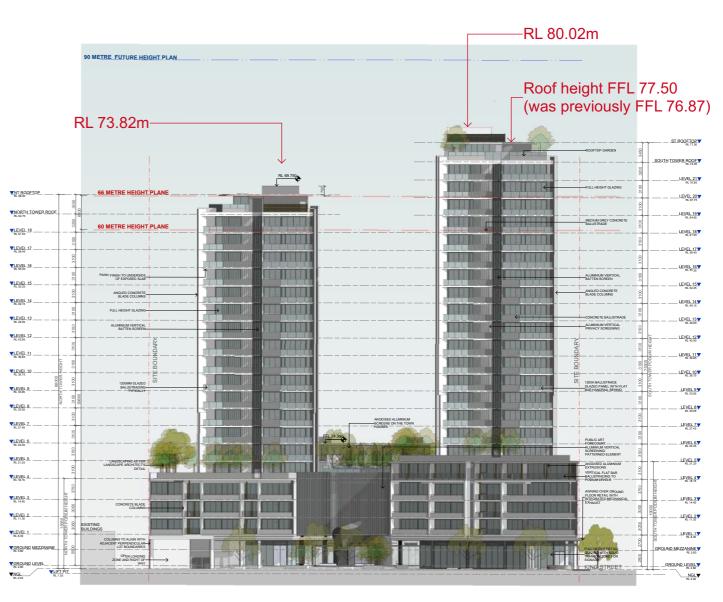
this document is the copyright refer any discrepancies to the d LTD check and verify all di with the work, do not scale of

as noted

### **Elevation 02 - National Park St**



<u> Elevation 02 - Approved DA</u>



<u> Elevation 02 - Revised DA</u>

marchesepartners

CKDS PD. Bu Ph D2 4 Ph D2 4

admin@ickds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph 02 4929 1843 ACN 129 231 269

#### National Park Street 180446

Elevation 02 - National Park St

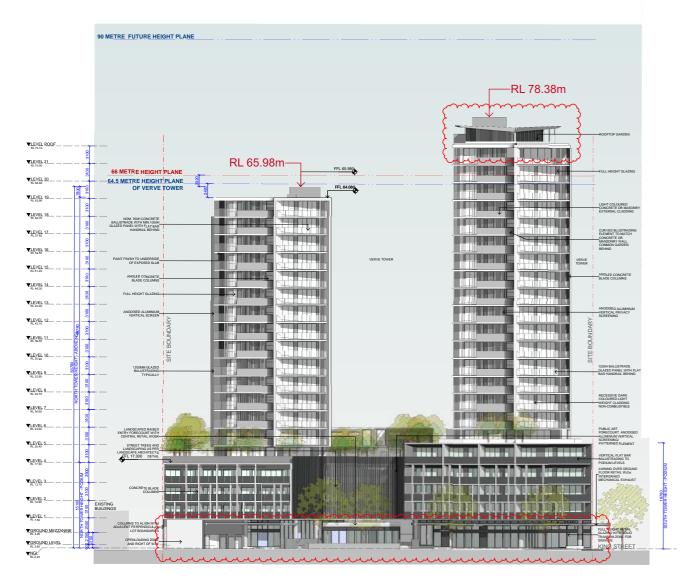
1.32



1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of CROS Architecture PTY LTD check and very all dimensions on site. refer any discregancies to the dissigner teldore proceeding with the work do not scale charings manually electronically daming shall not be used for construction of the source for the source for construction of the source for the source for construction of the source for the source for construction of the source for each of the source for the source for construction of the source for construction of the source for the sou

### **Elevation 02 - National Park St**



Elevation 02 - Approved DA

#### **Key Changes:**

1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.

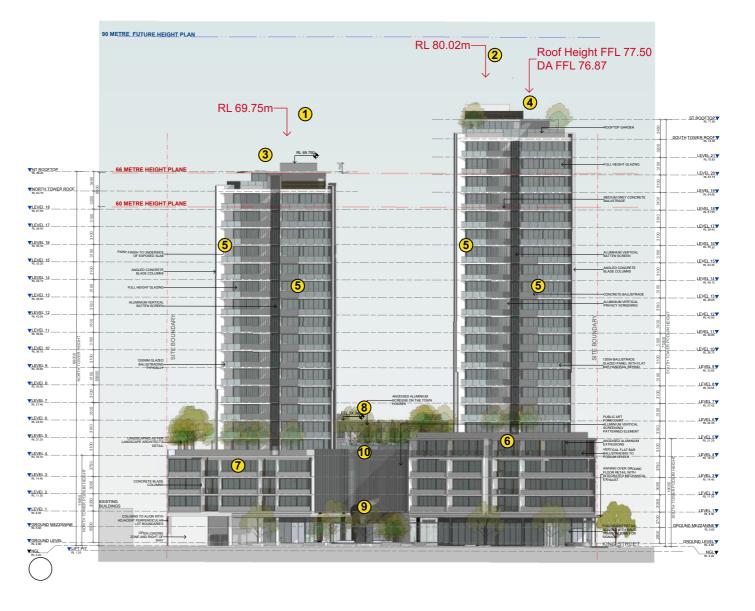
2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.

- 3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
- 4. Rooftop communal area on South building has increased.

5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.

Vertical screens added to the East and West elevations to enhance the vertical architectural language in lieu of landscape planting to end of corridors.

## marchesepartners



6. Podium - The podium has been re-evaluated to align with preferred building methodologies reflecting the current economic climate. Anodised aluminium feature columns on the balconies have been proposed and the design simplified. 7. Solid balustrades to podium levels have been introduces along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street. 8. Enhance communal spaces with better amenity, including pool and podium. 9. Improved access and amenity to forecourt. Increased landscaping and outdoor seating. 10. Width of Forecourt Screening at upper podium levels has decreased due to revised unit planning. Forecourt Screening to be integrated into the Public Art Proposal.

admin@ckds.com.au www.ckds.com.au P.O. Box 958 Newcastle NSW Australia h OZ 4929 1843 EN 129 231 269

SKDS

COMPARISON 55 **S**4.

#### **National Park Street** 180446

1, 17, 19 National Park Street + 484 King Street

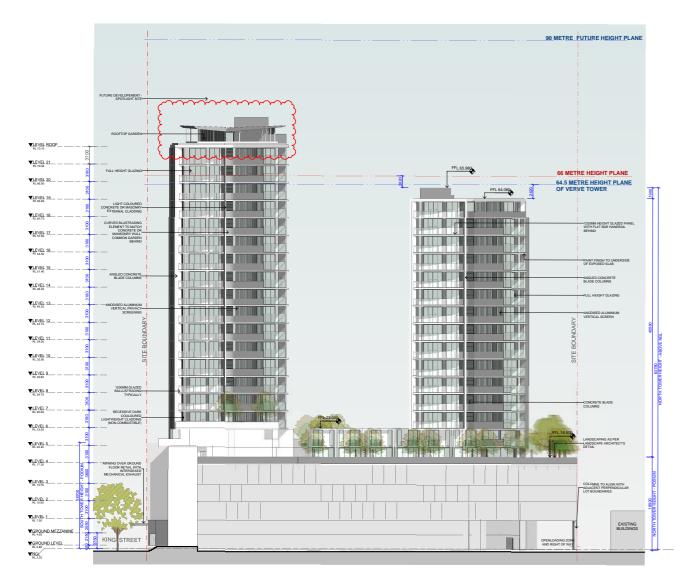
Elevation 02 - National Park St Noted

1.33



as noted this document is the copyright of refer any discrepancies to the de D check and verify all d

### **Elevation 03 - North Elevation**



<u> Elevation 03 - Approved DA</u>

	FUTURE DEVELOPEMENT - SPOTLIGHT SITE	→					90 METRE FUTURE HEIGHT PLAN	
FTOP								
	ROOFTOP COMMUNITY AREA		Tank					
	3300	January 1			RL 69.750			
+	8 FULL HEIGHT GLAZING		LUNCOUTER PO					
+		The second se					ROOFTOP COMMUNITY AREA 66 METRE HEIGHT PLANE	3450
+	3100			—			ALUMINUM VERTICAL BATTEN SCREEN	
							60 METRE HEIGHT PLANE	00
	ALUMINUM VERTICAL BATTEN SCREEN						1200MM HEICHT OLAZED PANEL WITH FLAT BAR HANDRAIL BEHND	8
	ANGLED CONCRETE BLADE COLUMNS						PANT FINISH TO UNDERSIDE OF EXPOSED SLAB	310
	°		Contraction of the local division of the loc				ANGLED CONCRETE BLADE COLUMNS	
	ALUMINUM VERTICAL					÷	FULL HEIGHT GLAZING	3100
	PRIVACY SCREENING					(		3100
76300								3100
	3100 TEBO						щ	3100 HEIGHT
80	3100							3100 66000 TOWER
	8 08 1200MM GLAZED							3100 NORTH
	BALLUSTRADING TYPICALLY		A BAR	COMMUNITY POOL AREA				3100
	3100			24 392				818
	3100			<b>UT ISLAND</b>	CREATED TO	Statement P	LANDSCAPING AS PER LANDSCAPER ARCHITECTS	3100
	8						DETAL	
некан	AWNING OVER GROUND RUDOR RETAIL WITH NECHANICAL EXHAUST							
								372 EIGHT
	300						COLUMNS TO ALION WITH ADJACENT PERPENDICULAR LOT BOUNDARES	H WINIQC
ортнтомек Рорции 	3050						/	3050 0WERPC
MEZZANINE							EXISTING BUILDINGS	0011 H1207
	KING STREET						OPEN LOADING ZONE AND RIGHT OF WAY	

<u> Elevation 03 - Revised DA</u>

marchesepartners

CKDS Ph Ca Ph Ca Alvi

admin@ickds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 AEN 129 231 269

# S4.55 COMPARISON

#### National Park Street 180446

Elevation 03 - East Elevation

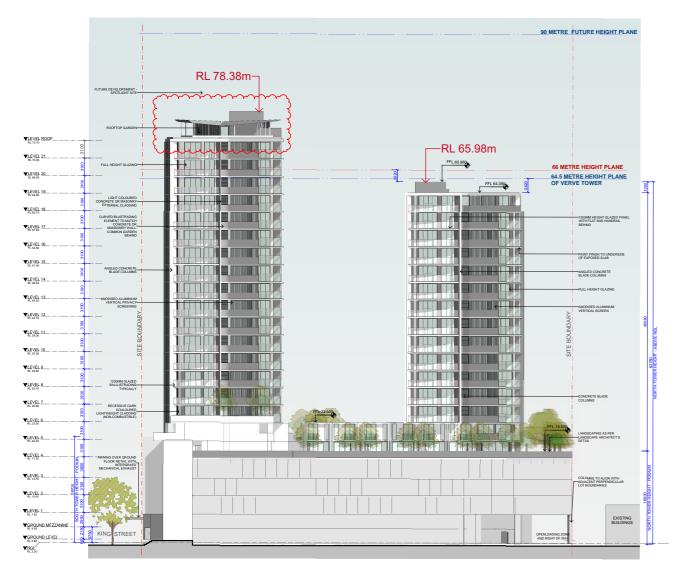
drawing# **1.34** 



1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of OOS Architecture PTY LTD check and very al dimensions on site. refer any discregancies to the dissigner tarlore proceeding with the work do not scale charing manually electronically cating shall not be used for construction will seed for the seed for the seed for seed for the

### **Elevation 03 - North Elevation**



<u> Elevation 03 - Approved DA</u>

#### **Key Changes:**

**1.** The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.

2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m

- in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
- 3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
- 4. Rooftop communal area on South building has increased.



Elevation 03 - Revised DA

5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges. Vertical screens added to the East and West elevations to enhance the vertical architectural language in lieu of landscape

6. Podium - More clearly defined and articulated row of Dulpexes.

## marchesepartners

## 

admin@ickds.com.au www.ckds.com.au PO. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 ACN 129 231 269

	90 METRE FUTURE HEIGHT PLAN		
–RL 69.75m			
RL 89.750			
	RODFTOP COMMUNITY AREA	1	NT ROOFTOP
<b></b>	66 METRE HEIGHT PLANE	3450	NORTH TOWER ROOF
	ALUMINIUM VERTICAL BATTEN SCREEN	3200	
	60 METRE HEIGHT PLANE	3100	LEVEL 18 RL 61.55
		+	LEVEL 17 RL 50.45
	1200MM HEIGHT GLAZED PANEL WITH FLAT BAR HANDRAIL BEHIND	3100	LEVEL 16
	PAINT FINISH TO UNDERSIDE OF EXPOSED SLAB	3100	
	ANGLED CONCRETE	3100	LEVEL 15 RL 52.25
	BLADE COLUMNS	+-	LEVEL 14 RL 40.15
	FULL HEIGHT GLAZING	3100	LEVEL 13 RL 46.05
	ALUMINIUM VERTICAL SCREEN	3100	
5		3100	LEVEL 12 RL 42.95
		+	LEVEL 11 RL 39.85
	======================================	3100	HO L L L L L L L L L L L L L L L L L L L
	S	3100	OWER
		310	12 LEVEL 9 12 R_ 33.65 14 14 10
		+	EVEL 8
		310	LEVEL 7 RL 27.45
		3100	
	LANDSCAPING AS PER LANDSCAPE ARCHITECTS DETAIL	3100	LEVEL 6 RL 24.35
REAL PROPERTY AND INCOME.	A DECEMBER OF	+-	LEVEL 5 RL 21 25
		3100	LEVEL 4
		3750	
	COLUMNS TO ALIGN WITH	HEIGHT	<u>LEVEL 3</u> RL 1440
<u> </u>	COLUMNS TO ALIGN WITH ADJACENT PERPENDICULAR LOT BOUNDARIES	3050 3050 15950 VERPODIUM HE	
		3050 15950 WERPO	
	EXISTING BUILDINGS	Z700	
20	DPEN LOADING NE AND RIGHT OF WAY	2800 NOR	1
		4	
			NGL RL 2.20

S4.55 COMPARISON

#### National Park Street 180446

Elevation 03 - East Elevation - Noted

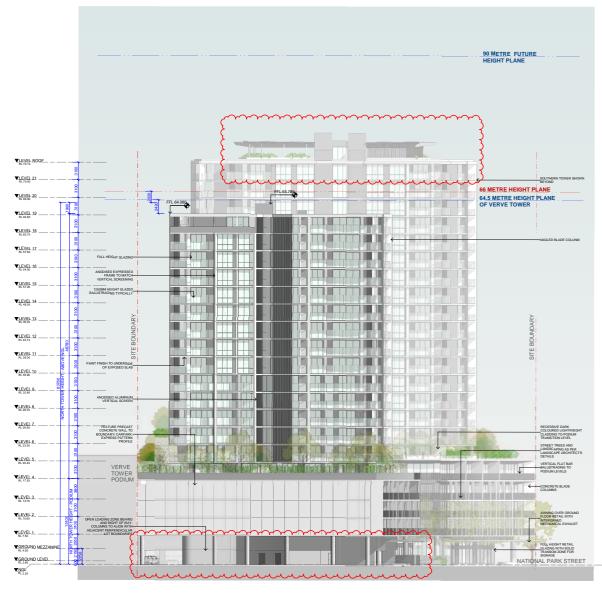
1.35



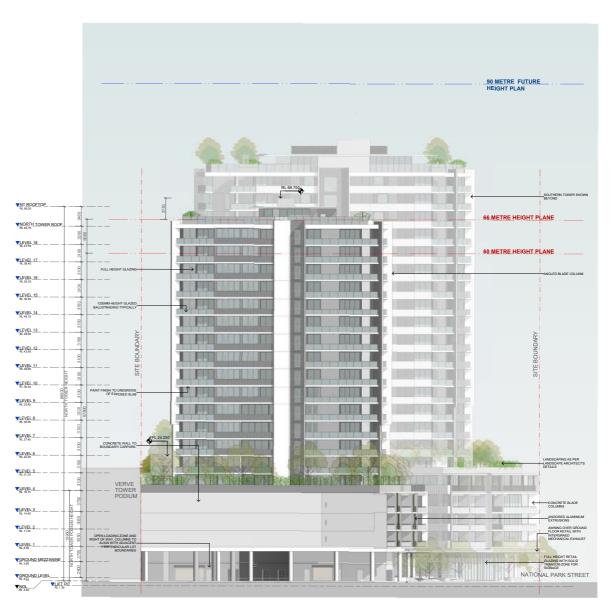
1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of CKOS Architecture PTY LTD check and verfy al dimensions on site. rief any discrepancies to the disagree theore proceeding with the work do not scale charring manually electronicity, detaining each not use set or construction will sead for construction will sead for construction will sead for construction will sead

## **Elevation 04 - East Elevation**



<u> Elevation 04 - Approved DA</u>



<u> Elevation 04 - Revised DA</u>

marchesepartners

CKDS PIL BO Ph D2 Ph D2 Ph D2 Ph D2

admin@ckds.com.au www.ckds.com.au PO. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 ACN 129 231 269

#### National Park Street 180446

Elevation 04 - North Elevation

drawing #

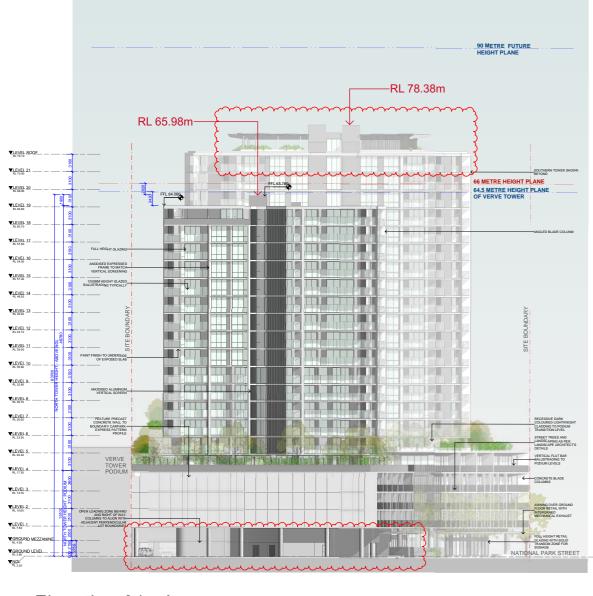
1.36



1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this bourner is the copyright of CASS Architecture PTY LTD chack and verfy al dimensions on site. refer any discrepancies to the dissigner targer proceeding with the work, do not scale charing manually electronicity, drawing shall not be used for construction will sead for construction will sead for construction will sead for construction will sead

### **Elevation 04 - East Elevation**



<u> Elevation 04 - Approved DA</u>

#### Key Changes:

**1.** The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.

2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m

in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.

- 3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
- 4. Rooftop communal area on South building have been increased.



Elevation 04 - Revised DA

5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.
6. A central pre-cast slot has been introduced to articulate the tower forms and address councils request for reduction of horizontal design language on the tower.

## marchesepartners

CKDS PLE PREV PALS

admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastle NSW Australia Ph. 02 4929 1843 ACN 129 231 269

		90 METRE FU HEIGHT PLAN	JTURE	
02m				
	Roof	height F FL 76.8	FL	77.50
	DAF	FL / 6.8	1	
THE ST				
				SOLITHERN TOWER SHOWN
	÷			SOUTHERN TOWER SHOWN BEYOND
		6 METRE HEI	<u>SHT PL</u>	ANE
		O METRE HEI	GHT PL	ANE
				-ANGLED BLADE COLUNM
	T			
	110			
			×.	
			DUNDAF	
			SITE BOUNDARY	
	TE			
	死日			
	10.0	<		LANDSCAPING AS PER -LANDSCAPE ARCHITECTS DETAILS
			4	CONCRETE BLADE COLUMNS
				ANODISED ALUMINIUM EXTRUSIONS AWNING OVER GROUND FLOOR RETAIL WITH INTERGRAED MECHANICAL EXHAUST
	No.			
W1	A CONTRACT	< /	ADITA	GLAZING WITH SOLID TRANSOM ZONE FOR SIGNAGE
		THE FLM		

S4.55 COMPARISON

#### National Park Street 180446

Elevation 04 - North Elevation - Noted

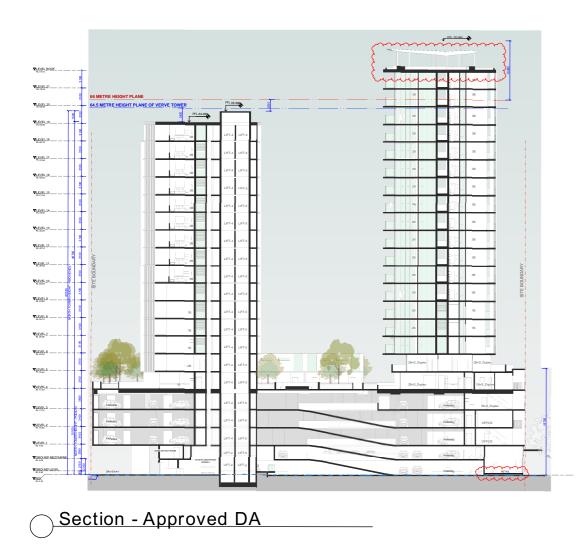


1, 17, 19 National Park Street + 484 King Street

as noted 18/4/2023 this document is the copyright of CKOS Architecture PTY LTD check and verify al dimensions on site. refer any discregancies to the disagree thefore proceeding with the work, do not scale charings manually or electronicity, desarring each not use set or construction will seaded for seaded will be seaded will be apprecision with a seaded seaded will be apprecision with seaded will be apprecision with a seaded with a seaded will be apprecision with a seaded with a seaded with a seaded will be apprecis

1.37

### **Cross Section**





<u>Section - Revised DA</u>

marchesepartners



admin@ckds.com.au www.ckds.com.au PD. Box 958 Newcastie NSW Australia Ph. 02 4929 1843 ACN 129 231 269 S4.55 COMPARISON

#### National Park Street 180446

Section

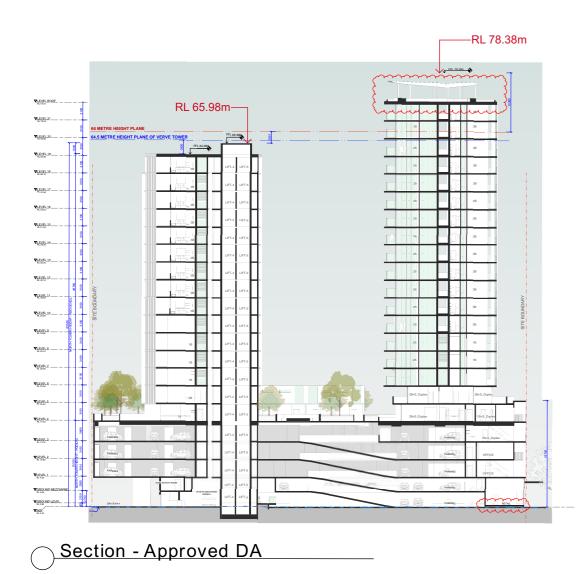


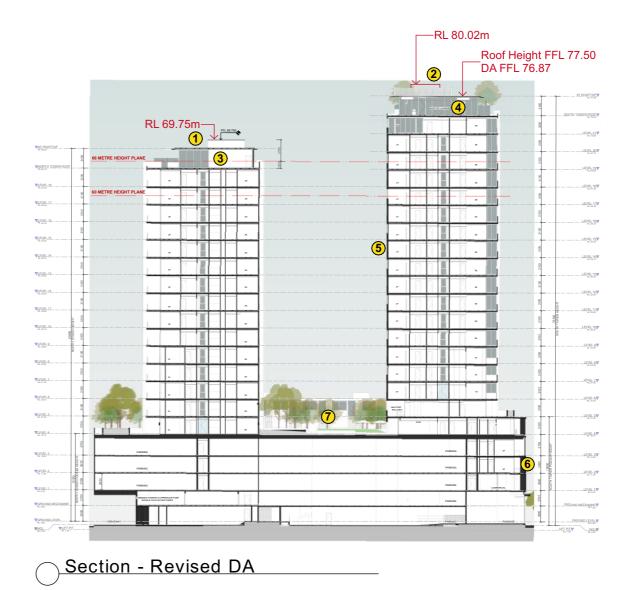


1, 17, 19 National Park Street + 484 King Street

this document is the copyright of CKDS Architecture PTY LTD check and verify all dimensions on site. refer any discrepancies to the designer before proceeding with the work, do not scale drawings manually or electronically, drawing shall not be used for construction until issued for construction by designer.

### **Cross Section**





#### **Key Changes:**

1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.

2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m

in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.

3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.

4. Rooftop communal area on South building have been increased.

5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges 6. Solid balustrades to podium levels have been introduces along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street. 7. Enhance communal spaces with better amenity, including pool and podium.

## marchesepartners

SKDS

admin@ckds.com.au www.ckds.com.au P.O. Box 958 Newcastle NSW Australia Ph 02 4929 1843 NCN 129 231 269

S4.55 COMPARISON

#### National Park Street 180446

Section - Noted

1.39

as noted



1, 17, 19 National Park Street + 484 King Street

18/4/2023 this document is the copyright or refer any discrepancies to the de check and verify all d re work, do not scale (