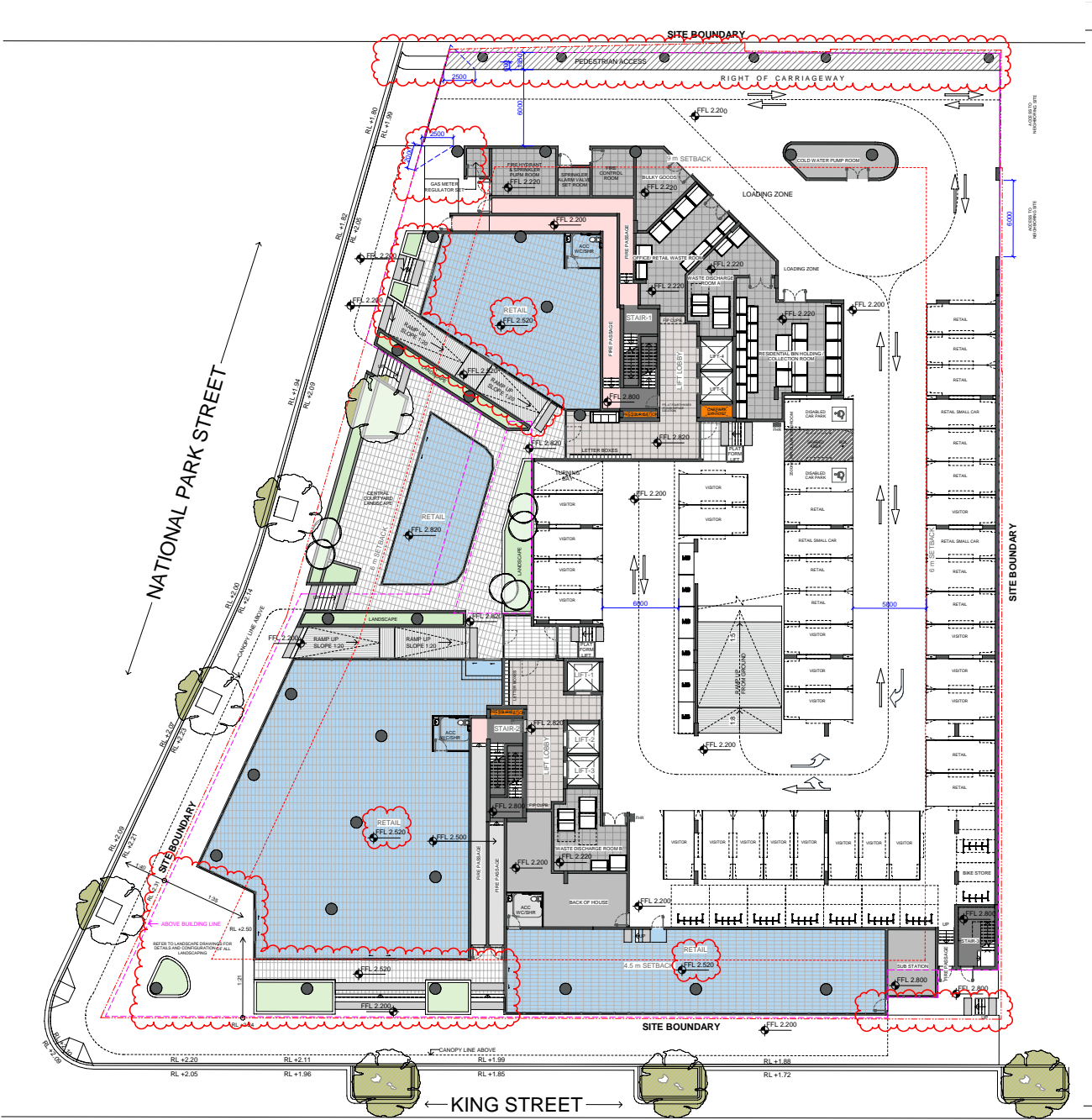


# Ground Floor Plan



Ground Floor Plan - Approved DA



Ground Floor Plan - Revised DA

S4.55 COMPARISON



# Ground Floor Plan

## Key Changes:

- 1. Lobbies changed:
  - a) Lift locations consolidated with stair following structural input.
  - b) South Tower only, ground to level 04 - 3 lifts changed to 2
- 2. Carpark rationalised to increase efficiencies:
  - a) Vehicle ramp moved to the West
  - b) Double stack carpark added
  - c) Notes added to confirm carpark clearances
  - d) Secure roller gate & pedestrian access added to carpark entry
  - e) MRV turning circles added
  - f) Traffic Mirror & card reader
  - g) End of Trip Facility added
  - h) Bike storage reconfigured to include secure storage
  - i) 12 EV charging points added to visitor car space
- 3. Detention tank added
- 4. Commercial changes
  - a) Minor adjustments to floor plan geometry
  - b) G.02 integrated into podium to increase forecourt
  - c) Accessible bathroom added to G.02
  - d) G.02 shopfront extended to the West
  - e) G.03 shopfront extended to the West
  - f) Columns adjusted following structural feedback
- 6. Increase depth of forecourt
  - a) Improved design and access - north ramp deleted
  - b) Public art location
  - c) Additional external cafe seating
  - d) Address, feature and public interface of the development
- 6. Increase to substation size & main switch room added
- 7. Entry steps and ramp adjusted between commercial tenancies 3 & 4. Landscape planter bed adjusted to integrate with ramp design. Entry to tenancy 3 changed
- 8. King Street, street trees adjusted following Council's advice
- 9. Bus zone indicated at King Street front.
- 10. Clarifications to the Waste Store added.
  - Area for 'Bulky Waste Goods' identified.
  - Area for each waste store added.
- 11. Entry to south tower lobby.
  - a) Glazing width increased
  - b) ramp and planter adjusted to open the space up in front of the entry



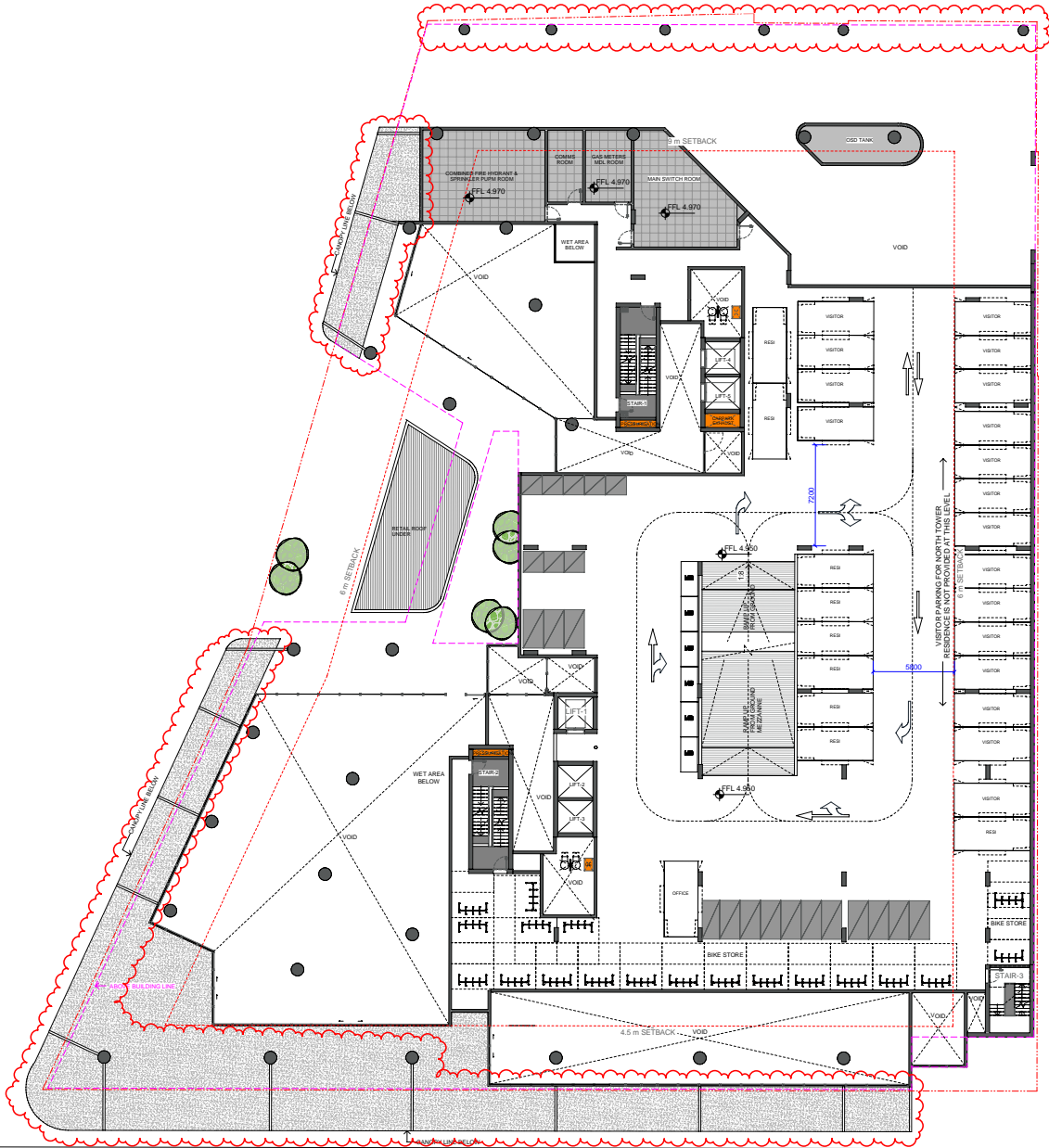
Ground Floor Plan - Approved DA



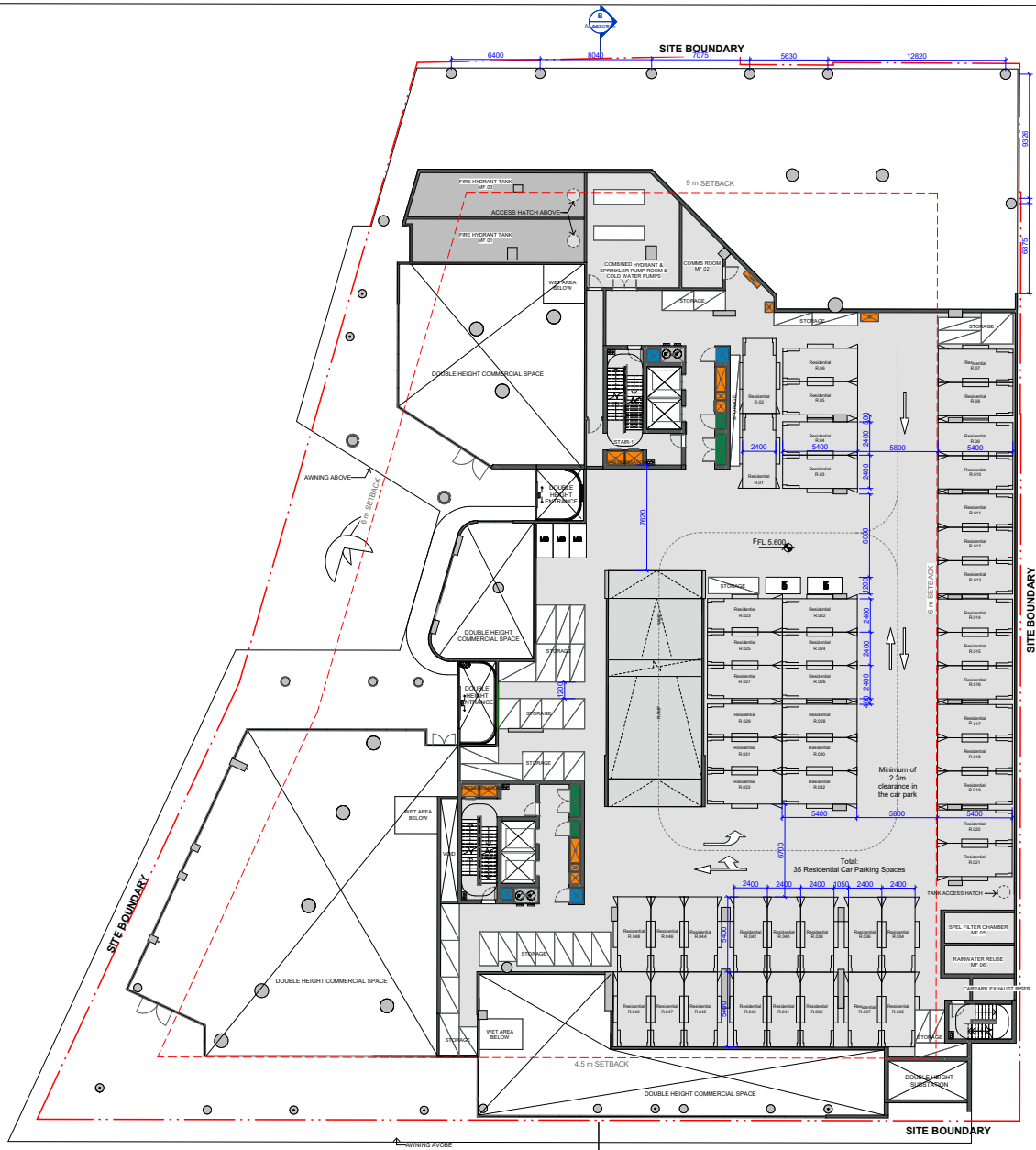
Ground Floor Plan - Revised DA

S4.55 COMPARISON

# Ground Floor Plan - Mezzanine



○ Ground Floor Plan - Mezzanine - Approved DA



○ Ground Floor Plan - Mezzanine - Revised DA

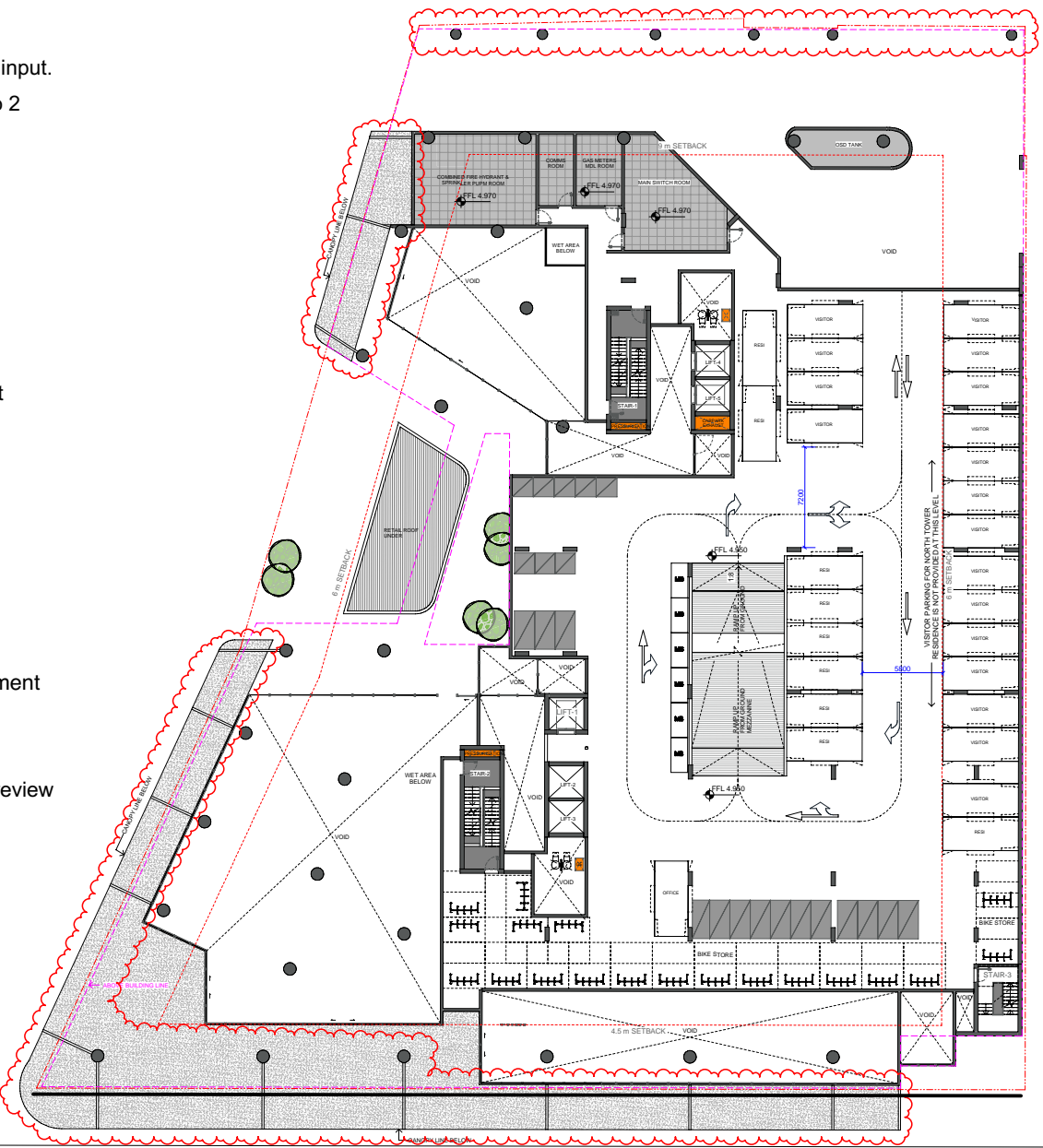
S4.55 COMPARISON



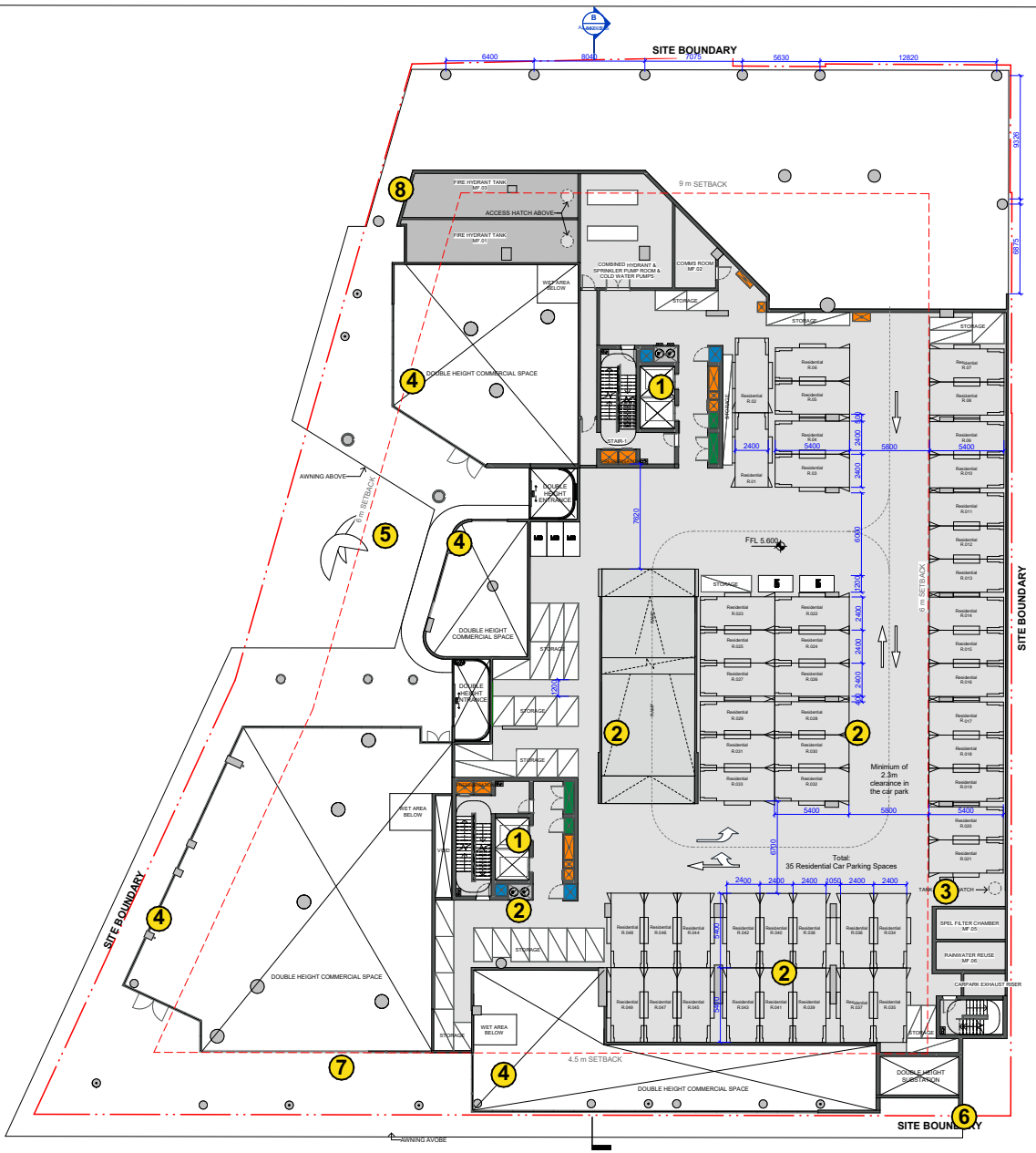
# Ground Floor Plan - Mezzanine

## Key Changes:

- 1. Lobbies changed:
  - a) Lift locations consolidated with stair following structural input.
  - b) South Tower only, ground to level 04 - 3 lifts changed to 2
- 2. Carpark rationalised to increase efficiencies:
  - a) Vehicle ramp moved to the West
  - b) Double stack carparks added
  - c) Bike storage replaced with storage allocated to units
- 3. rain water reuse & chamber added
- 4. Commercial changes
  - a) Minor adjustments to floor plan geometry
  - b) G.02 pushed back to provide more generous forecourt
  - c) G.02 shopfront extended to the West
  - d) G.04 shopfront extended to the West
  - e) Columns adjusted following structural feedback
- 5. Increase depth of forecourt
  - a) Improved design and access
  - b) Public art location
  - c) Additional external cafe seating
  - d) Address, feature and public interface of the development
- 6. Increase to substation size
- 7. Entry to commercial adjusted
- 8. Minor back of house changes following detailed service review



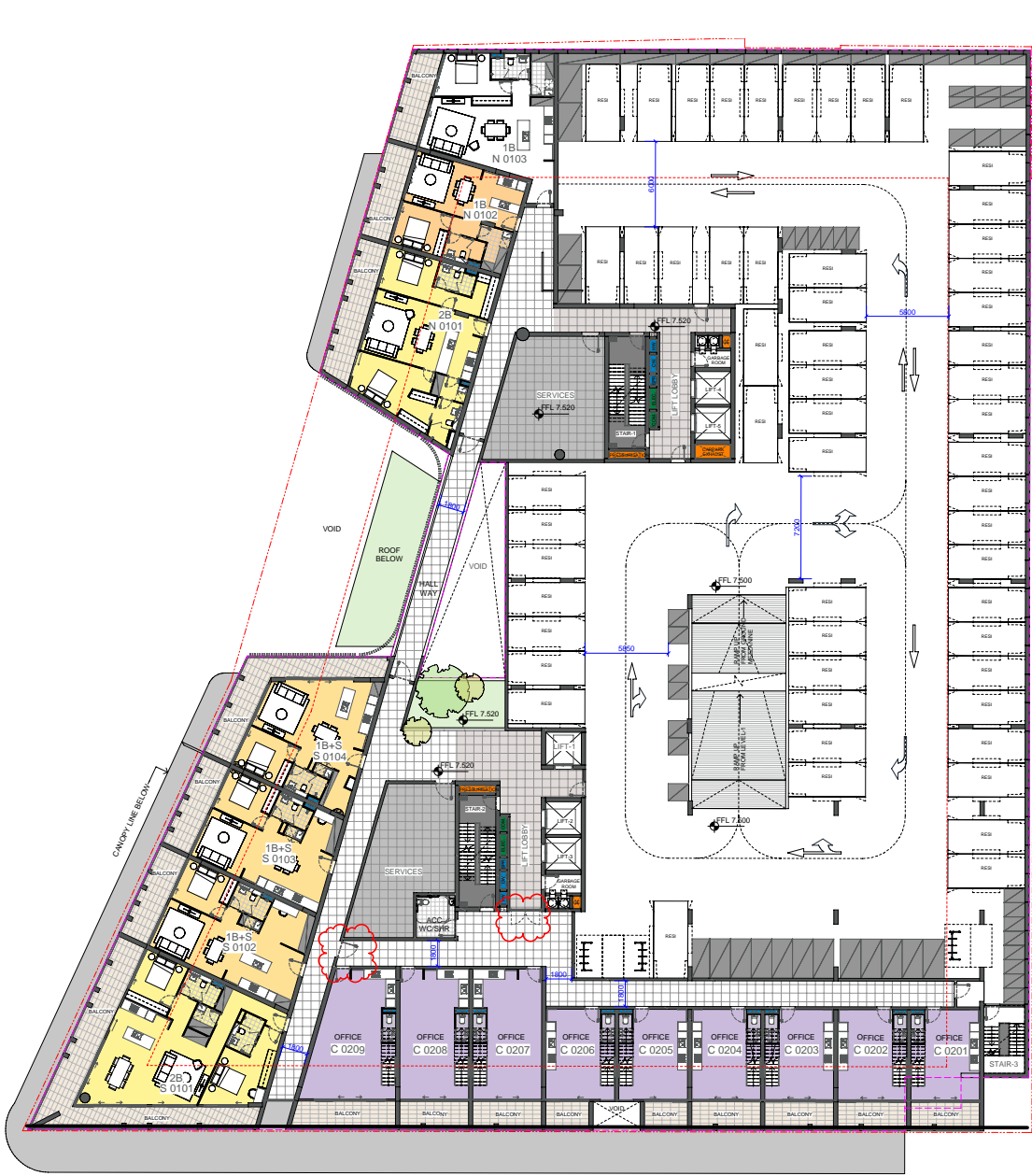
○ Ground Floor Plan - Mezzanine - Approved DA



○ Ground Floor Plan - Mezzanine - Revised DA



# Level 01 - Office Space



○ Level 01 - Office Space - Approved DA



○ Level 01 - Office Space - Revised DA

S4.55 COMPARISON

# Level 01 - Office Space

## Key Changes:

- 1. Lobbies changed:
  - a) Lift locations consolidated with stair following structural input.
  - b) South Tower only, ground to level 04 - 3 lifts changed to 2
  - c) Geometry of lobbies adjusted following detailed planning
- 2. Carpark rationalised to increase efficiencies:
  - a) Vehicle ramp moved to the West
  - b) Double stack carpark added
  - c) Bike storage replaced with storage allocated to units
  - d) Car spaces added to the South
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
  - a) Minor adjustments to floor plan geometry
  - b) G.02 pushed back to provide more generous forecourt
  - c) G.02 shopfront extended to the West
  - d) G.04 shopfront extended to the West
  - e) Columns adjusted following structural feedback
- 5. Changes near forecourt
  - a) Increase depth of fourcourt
  - b) Commercial roof & void removed



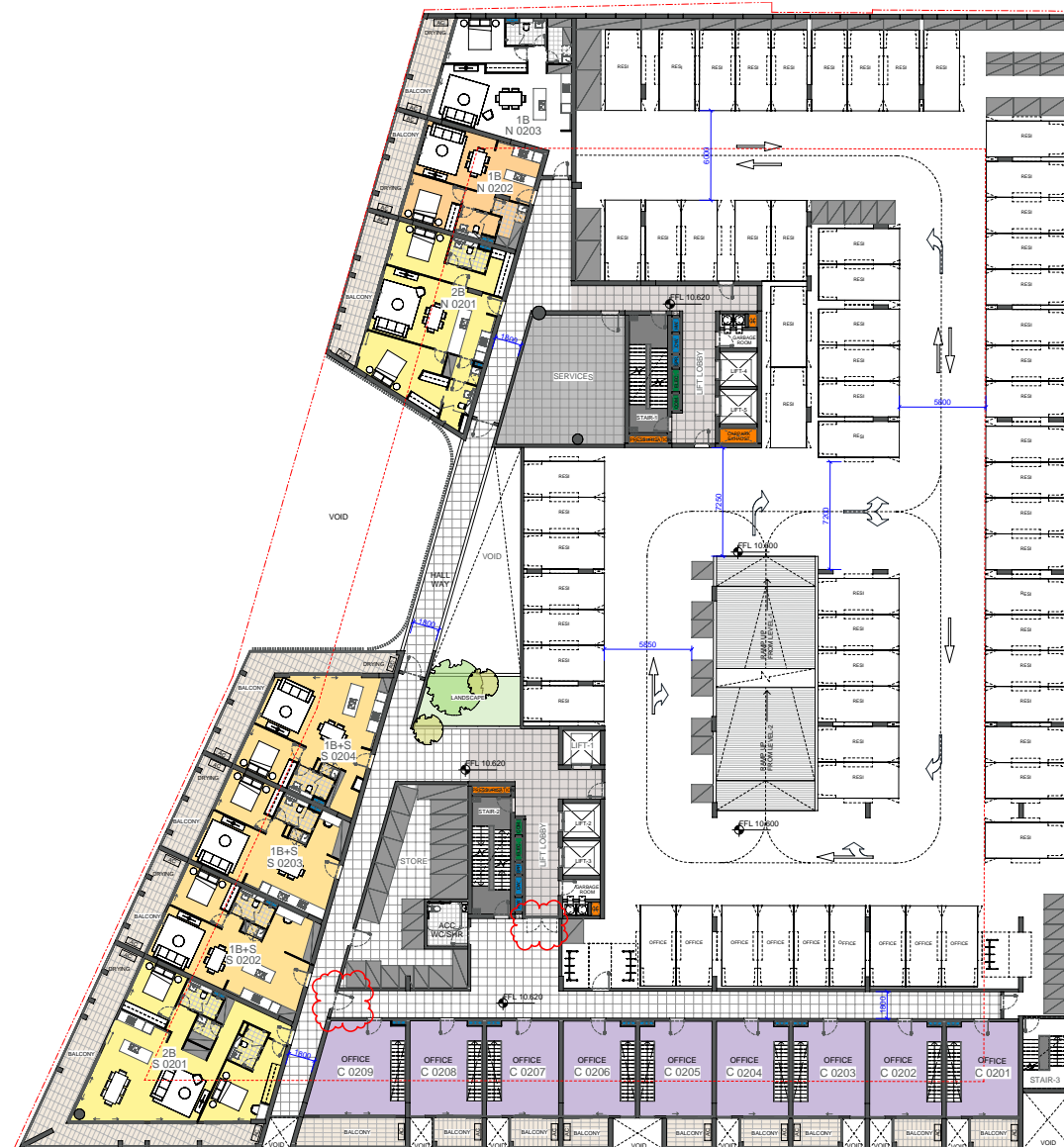
Level 01 - Floor Plan - Approved DA



Level 01 - Floor Plan - Revised DA



## Level 02 - Typical Podium Units



○ Level 02 Plan - Typical Podium Units - Approved DA

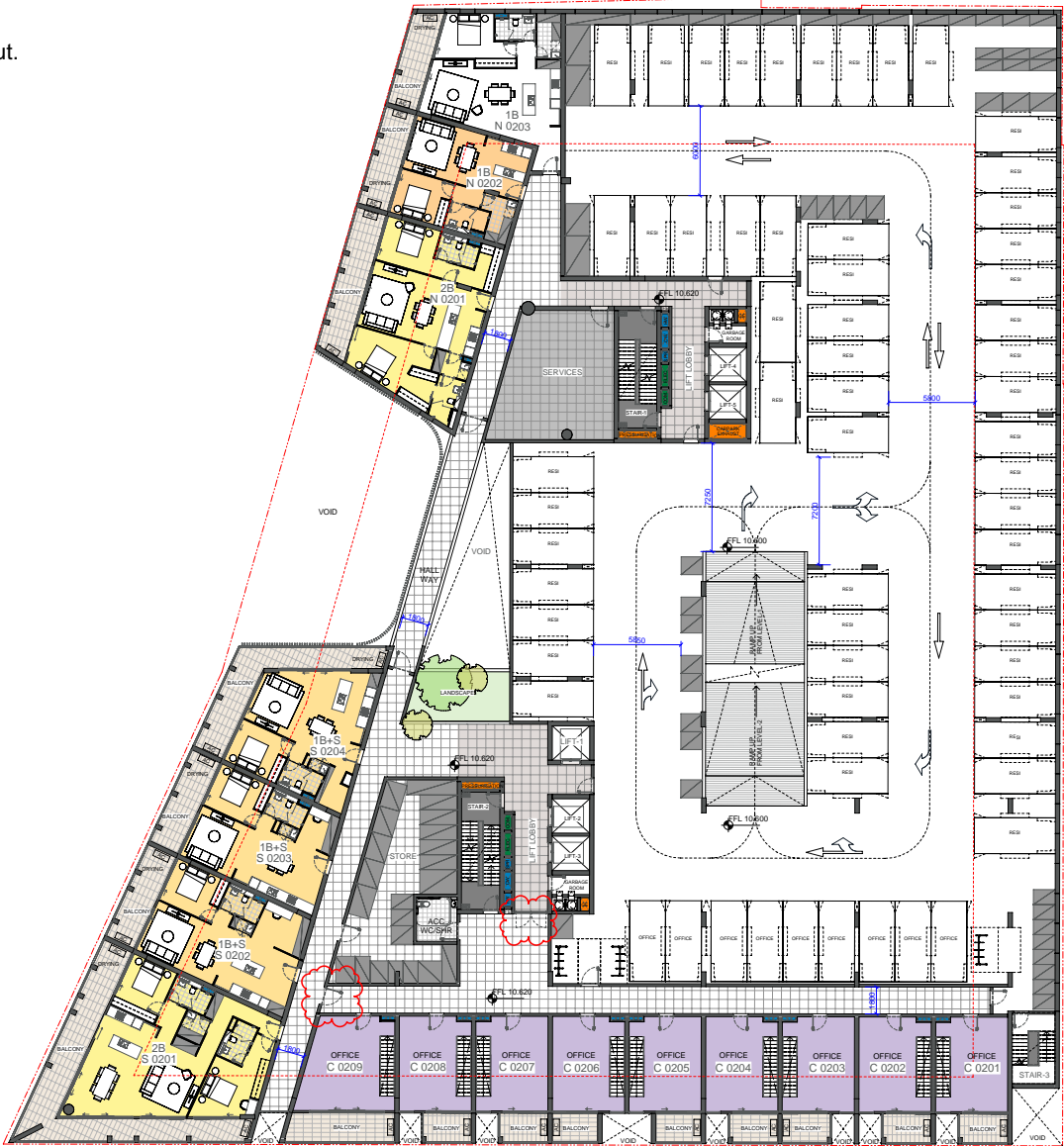


○ Level 02 Plan - Typical Podium Units - Revised DA

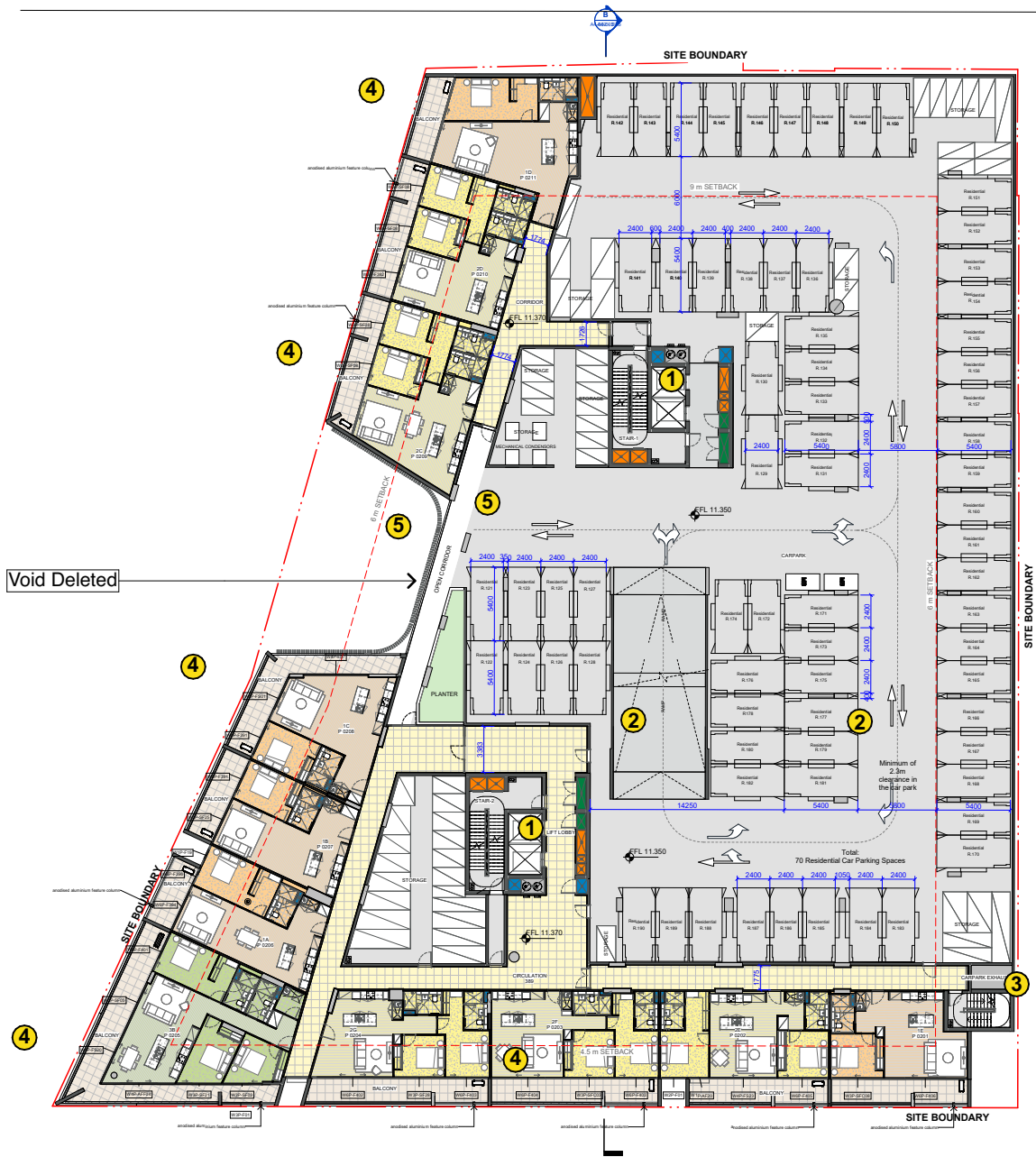
# Level 02 - Typical Podium Units

## Key Changes:

- 1. Lobbies changed:
  - a) Lift locations consolidated with stair following structural input.
  - b) South Tower only, ground to level 04 - 3 lifts changed to 2
  - c) Geometry of lobbies adjusted following detailed planning
- 2. Carpark rationalised to increase efficiencies:
  - a) Vehicle ramp moved to the West
  - b) Double stack carpark added
  - c) Bike storage replaced with storage allocated to units
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
  - a) Minor planning changes to Units P0206-09, P0211
  - b) Unit P0210 changed from 1 bed to 2 bed
  - c) Upper level office spaces changed to 4 units
- 5. Changes near forecourt
  - a) Increase depth of forecourt
  - b) Commercial roof & void removed



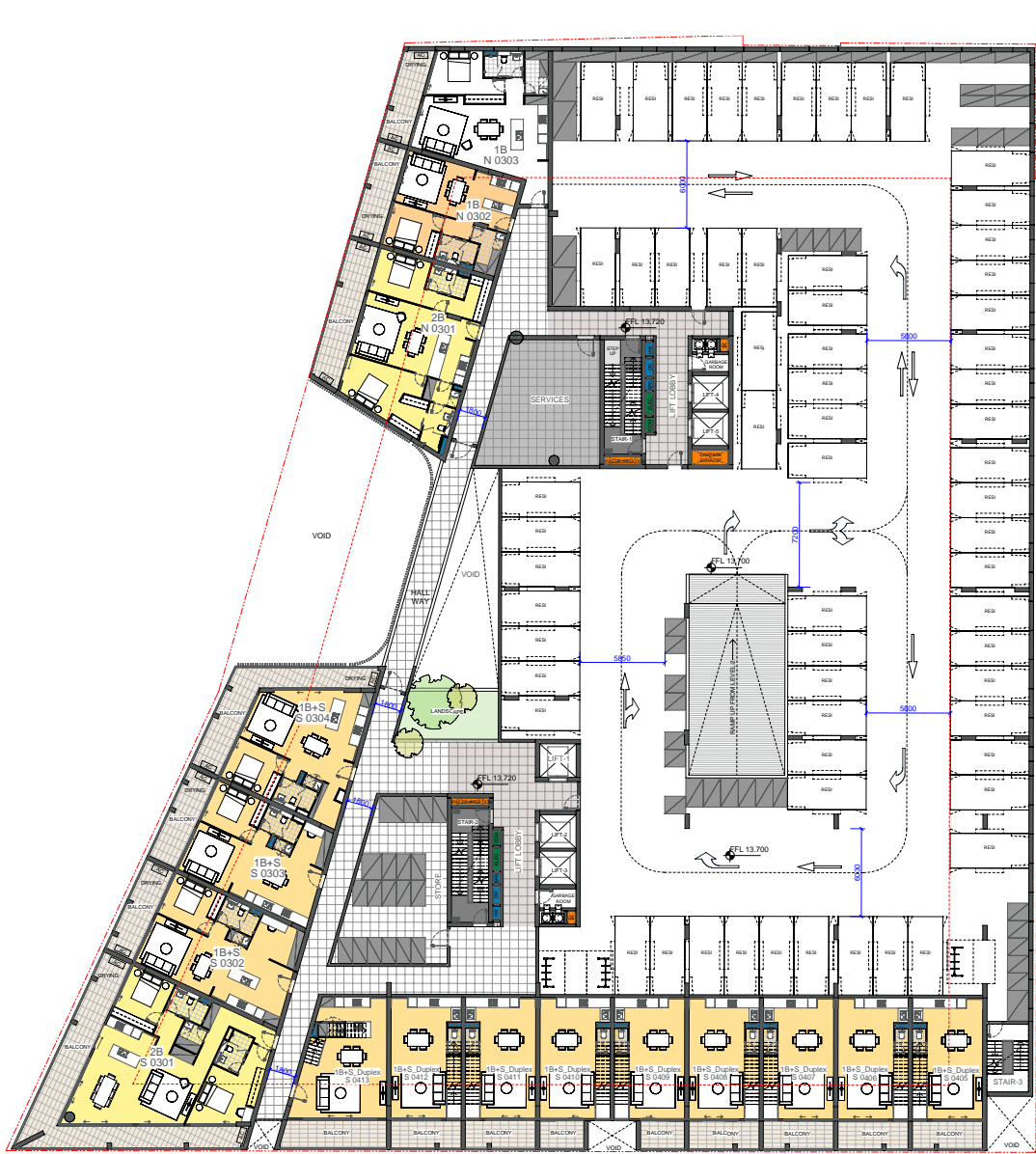
Level 02 Plan - Typical Podium Units - Approved DA



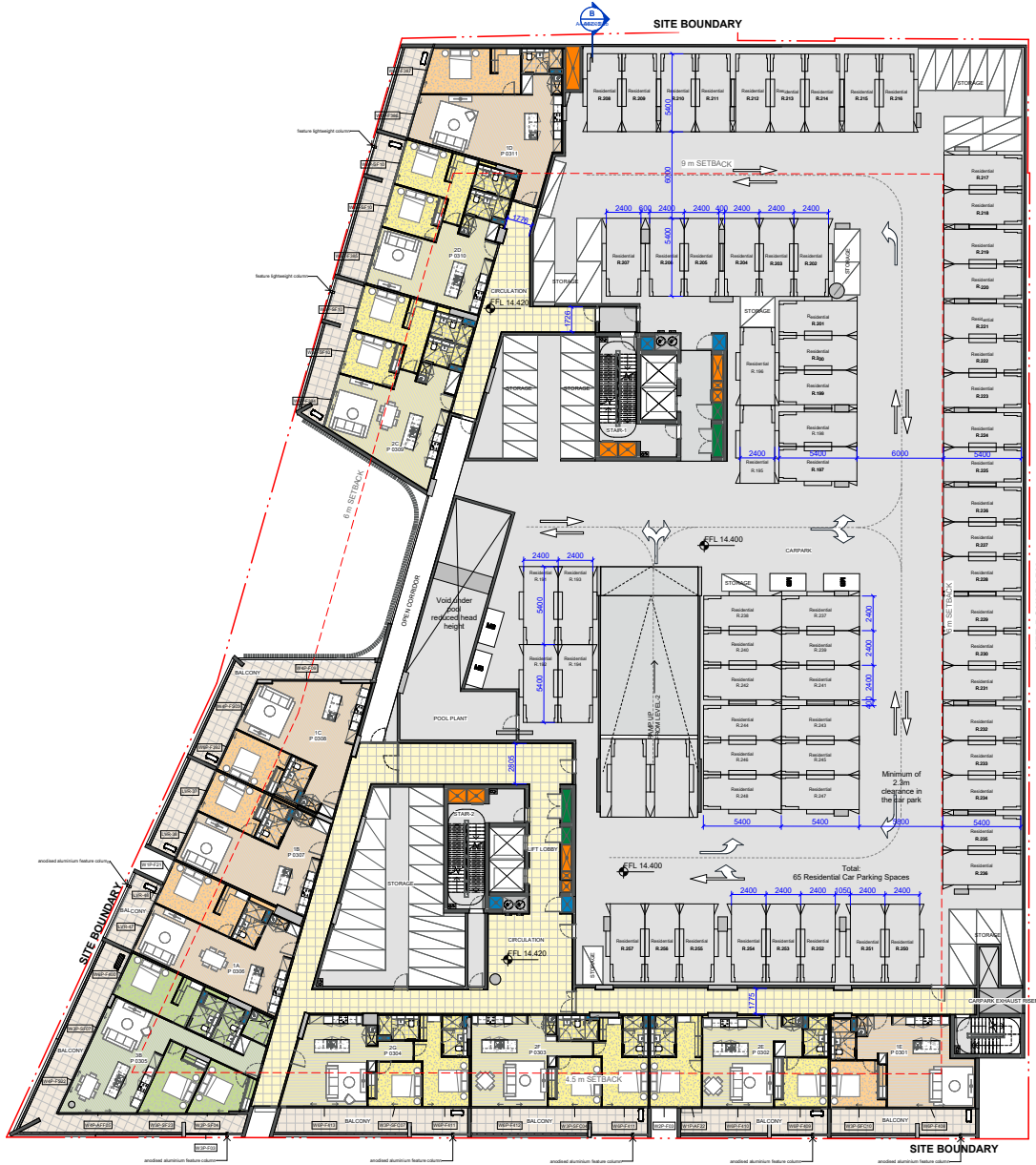
Level 02 Plan - Typical Podium Units - Revised DA



# Level 03 Plan



Level 03 Plan - Approved DA



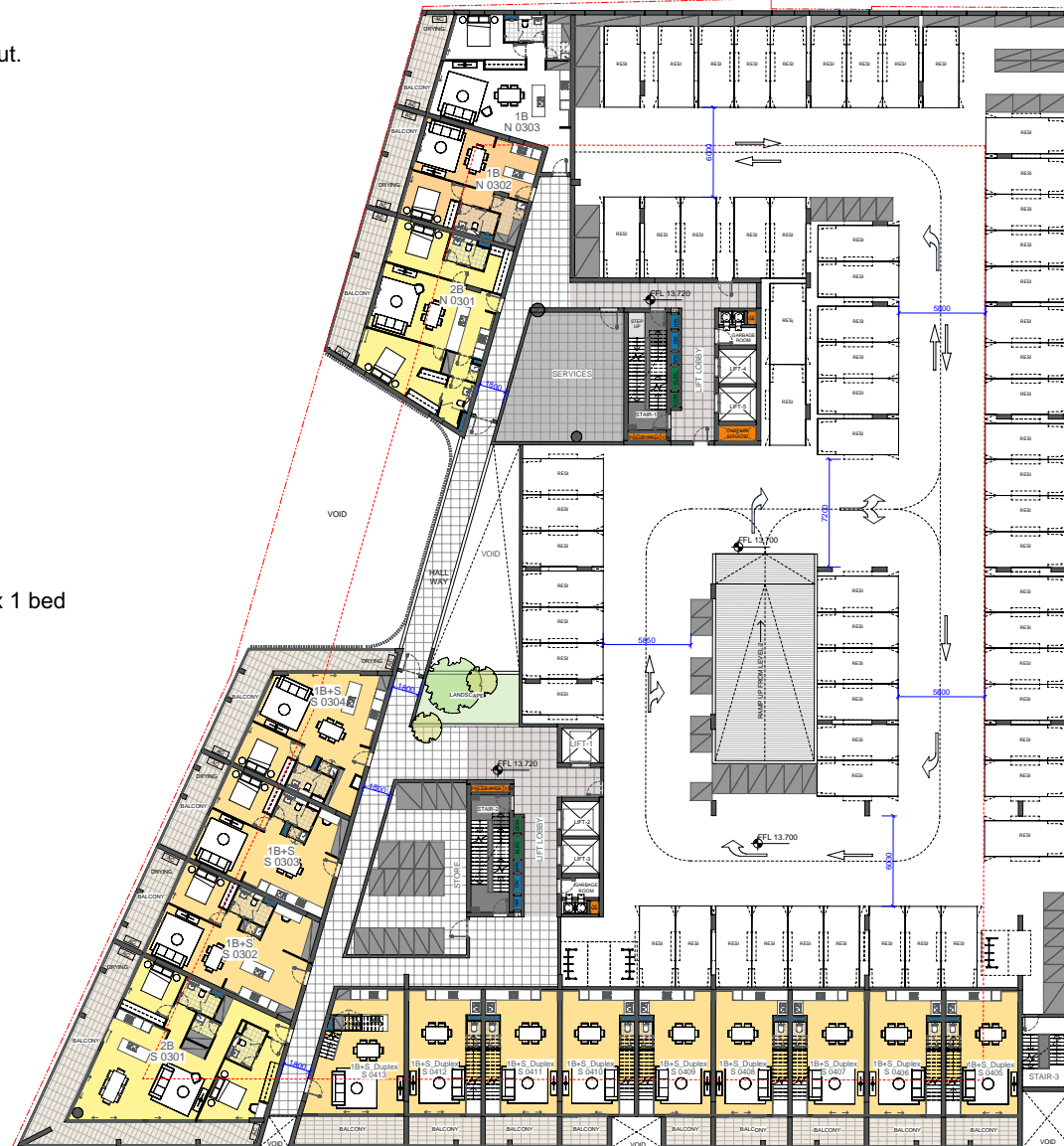
Level 03 Plan - Revised DA

S4.55 COMPARISON

## Level 03

## Key Changes:

- 1. Lobbies changed:**
  - a)** Lift locations consolidated with stair following structural input.
  - b)** South Tower only, ground to level 04 - 3 lifts changed to 2
  - c)** Geometry of lobbies adjusted following detailed planning
  - d)** Corridor added to South tower to access units
  - e)** Lobby adjusted to North tower
- 2. Carpark rationalised to increase efficiencies:**
  - a)** Vehicle ramp moved to the West
  - b)** Double stack carparks added
  - c)** Bike storage replaced with storage allocated to units
  - d)** Motorbike spaces added
- 3. Fire stair & carpark exhaust revised**
- 4. Unit Planning changes**
  - a)** Minor planning changes to Units P0306-09, P0311
  - b)** Unit P0310 changed from 1 bed to 2 bed
  - c)** 9 x 2 bed duplexes to the South changed to 3 x 2 bed, 1 x 1 bed
- 5. Changes near forecourt**
  - a)** Increase depth of forecourt
  - b)** void removed, pool plant added
- 6. Services removed from carpark and replaced with storage open to carpark**



Level 03 Plan - Approved DA



## Level 03 Plan - Revised DA



# Level 04 - Podium Top



○ Level 04 Plan - Podium Top - Approved DA



○ Level 04 Plan - Podium Top - Revised DA

S4.55 COMPARISON



# Level 04 - Podium Top

## Key Changes:

- 1. Lobbies changed:
  - a) Lift locations consolidated with stair following structural input.
  - b) South Tower only, ground to level 04 - 3 lifts changed to 2
  - c) Geometry of lobbies adjusted following detailed planning
- 2. Communal Facilities enhanced:
  - a) Pool added to void
  - b) Cinema room added in lieu of library
  - c) Recreation room moved to the location next to the pool
  - d) Minor adjustments to landscaping responding to new planning
  - e) Gym added with amenities and end of trip facilities
- 3. Fire stair & carpark exhaust revised
- 4. Unit Planning changes
  - a) Minor planning changes generally
  - b) Unit P0409 changed from 1 bed to 2 bed
  - c) 9 x 2 bed duplexes to the South changed to 3 x 2 bed, 1 x 1 bed
  - d) Unit P0409 changed from 1 bed to 2 bed
- 5. Separation between North and South towers decreased
  - a) minor decrease in landscaping and balcony
- 6. Balcony articulation revised
- 7. Apartments reconfigured:
  - a) Through link removed
  - b) number of duplexes to the east changed from 6 to 4, and 1 2 bed unit.
- 8. Landscape removed to provide maintenance access



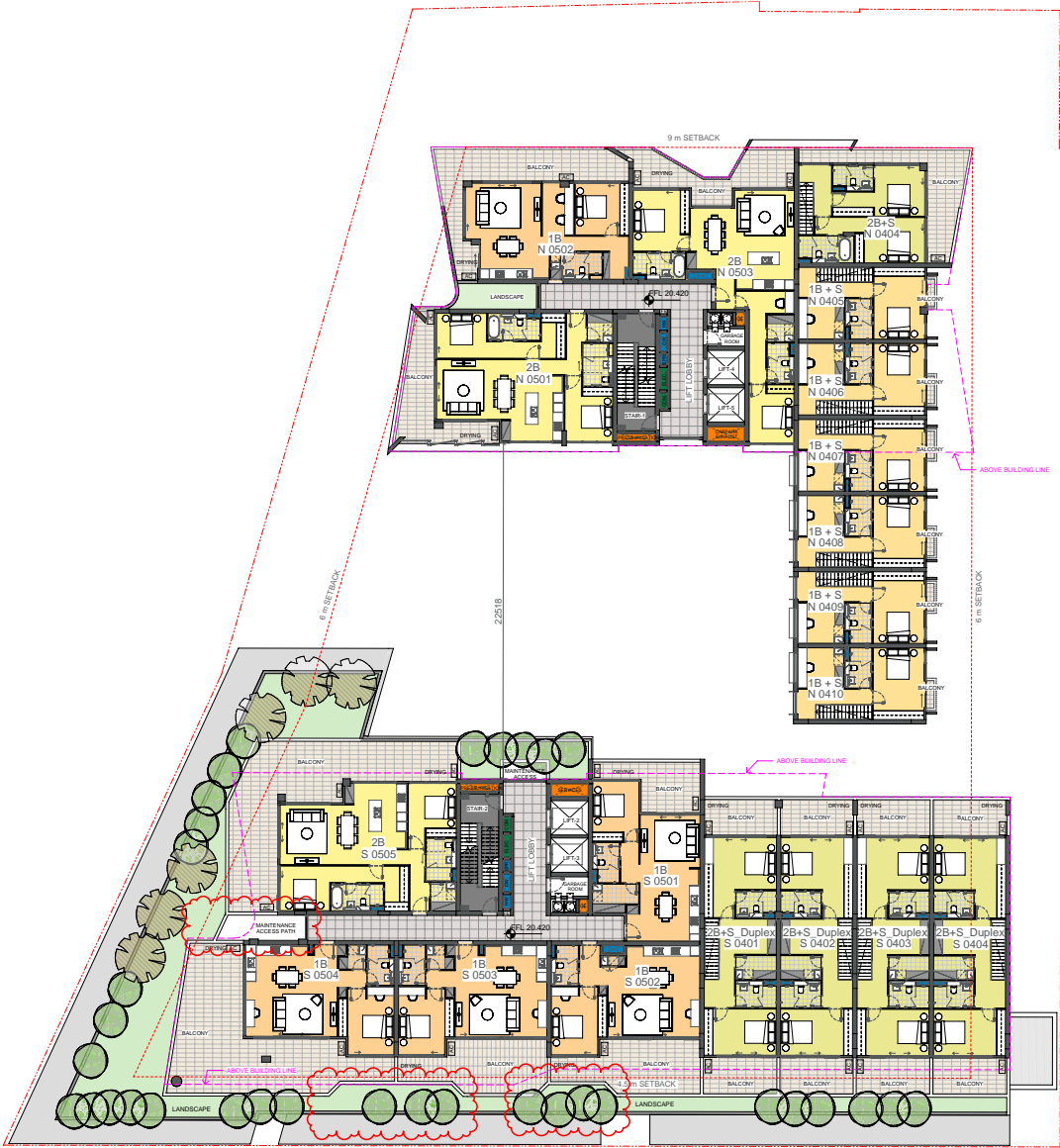
○ Level 04 Plan - Podium Top - Approved DA



○ Level 04 Plan - Podium Top - Revised DA



Level 05 Plan



○ Level 05 Plan - Approved DA



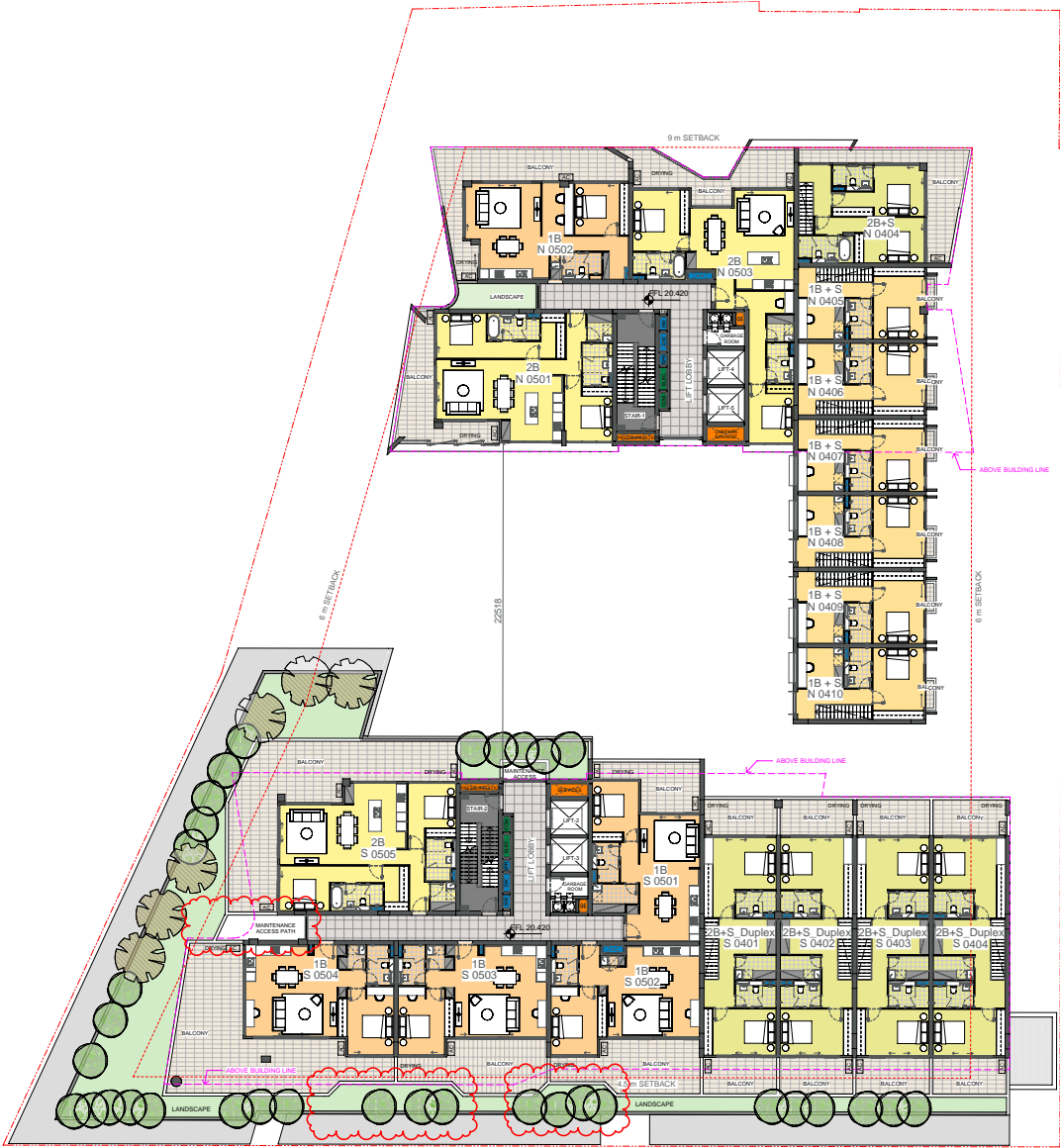
○ Level 05 Plan - Revised DA

S4.55 COMPARISON

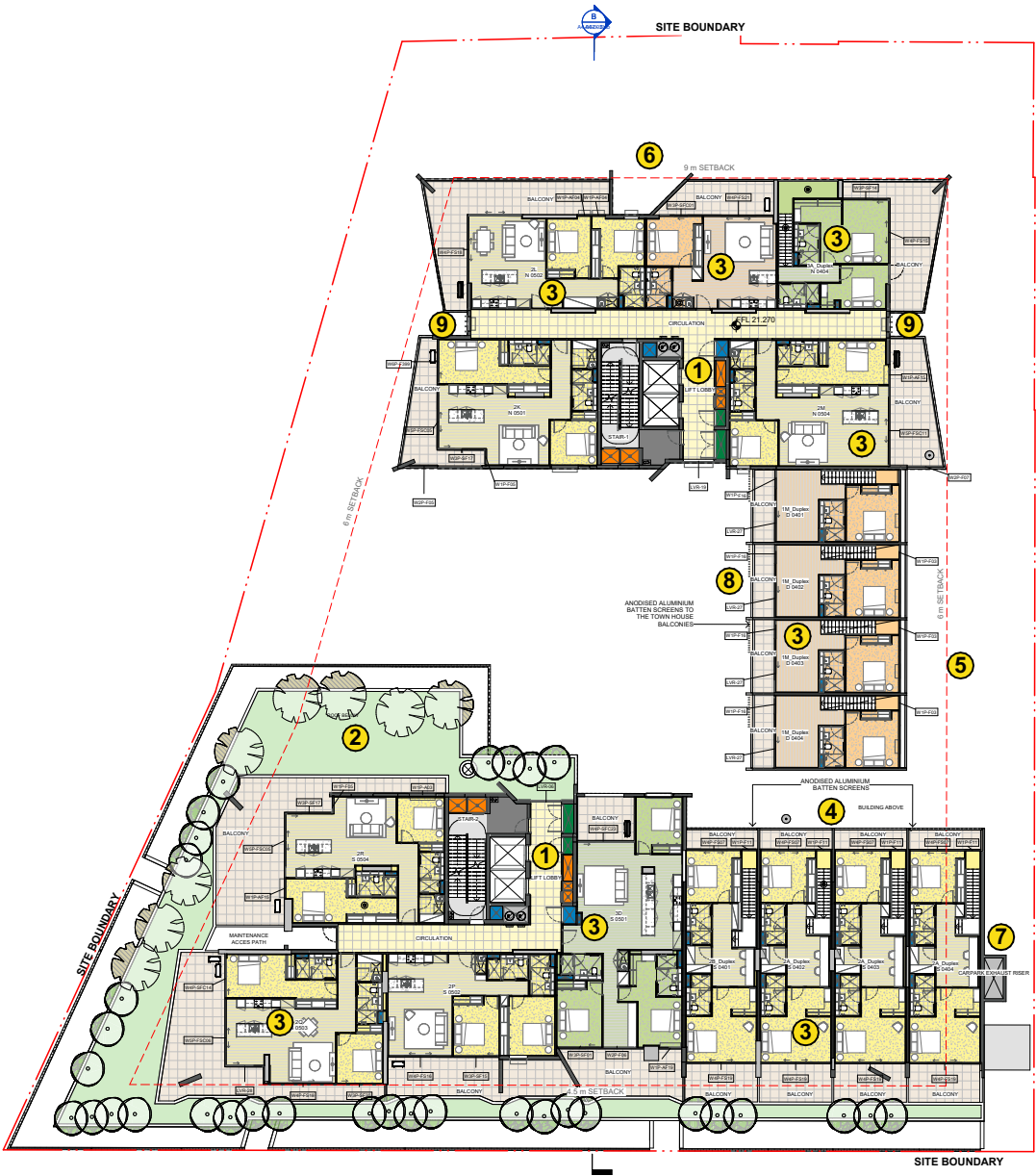
# Level 05 Plan

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
- 2. Awning extended across unit S0504, landscaping increased
- 3. Minor alterations to unit layouts and circulation
  - a) Units N0502 & N0503 changed from 1 bed to 2 bed
  - b) Unit N0404 external footprint adjusted
  - c) North tower units reconfigured & numbers reduced from 10 to 9 (1 duplex removed)
  - d) South tower units reconfigured & numbers reduced from 9 to 8 (2 x 1 bed changed to 1 x 3 bed unit)
- 4. Separation between south tower and duplexes has decreased and balcony size to units S0401-S0404 decreased.
- Anodised aluminium screens added
- 5. Setbacks to boundaries remains the same
- 6. Minor alterations to tower geometry and construction detail
- 7. Carpark exhaust has been relocated to southeast
- 8. Balconies added to duplex's as a privacy buffer
- 9. Vertical external screens added



○ Level 05 Plan - Approved DA



○ Level 05 Plan - Revised DA



Level 06 Plan



○ Level 06 Plan - Approved DA



○ Level 06 Plan - Revised DA

S4.55 COMPARISON

# Level 06 Plan

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
- 2. Setbacks to boundaries remains the same
- 3. Minor planning changes to units generally including external footprint:
  - a) N0602 changed from 1 bed to 2 bed
  - b) S0604 changed from 1 bed to 2 bed
- 4. Minor alterations to tower geometry and construction detail
- 5. Landscaping removed from buildings central axis.  
Vertical external screens added.
- 6. Carpark exhaust has been relocated to southeast
- 7. Roof garden and solar panels added to roof.  
Separation between south tower and duplex roof has decreased



○ Level 06 Plan - Approved DA

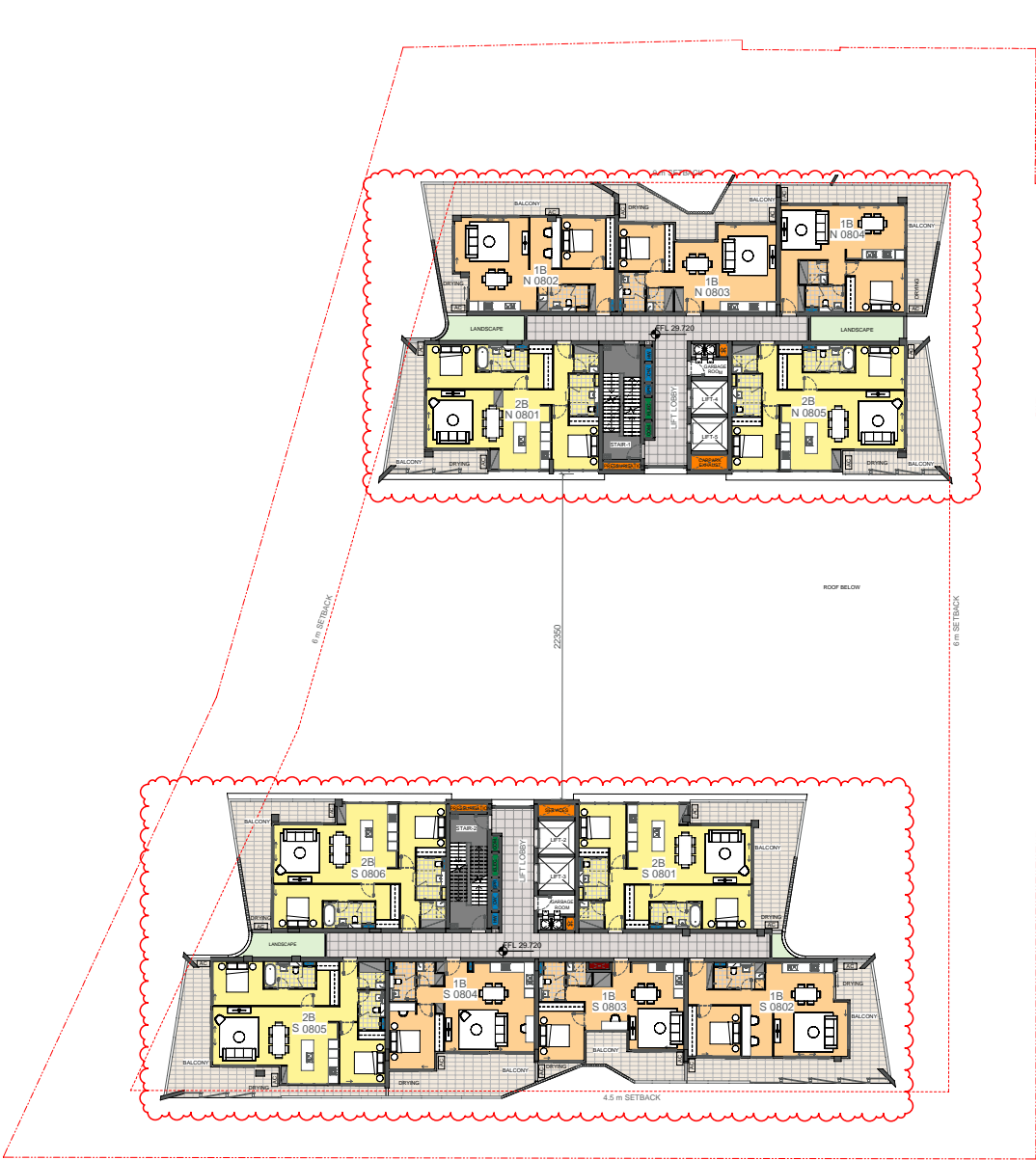


○ Level 06 Plan - Revised DA

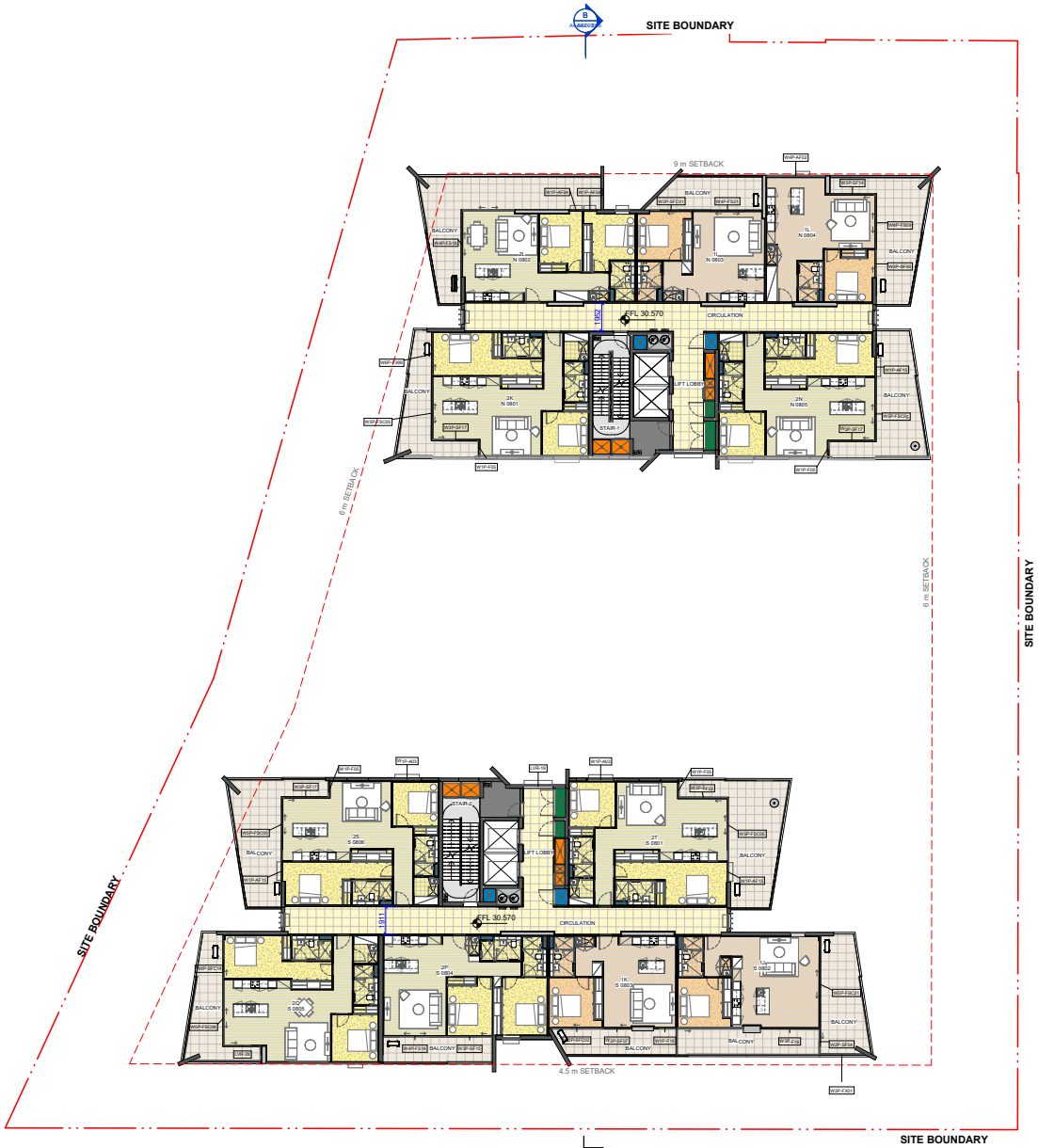
S4.55 COMPARISON



# Level 08 - Typical Tower



○ Level 08 Plan - Typical Tower - Approved DA



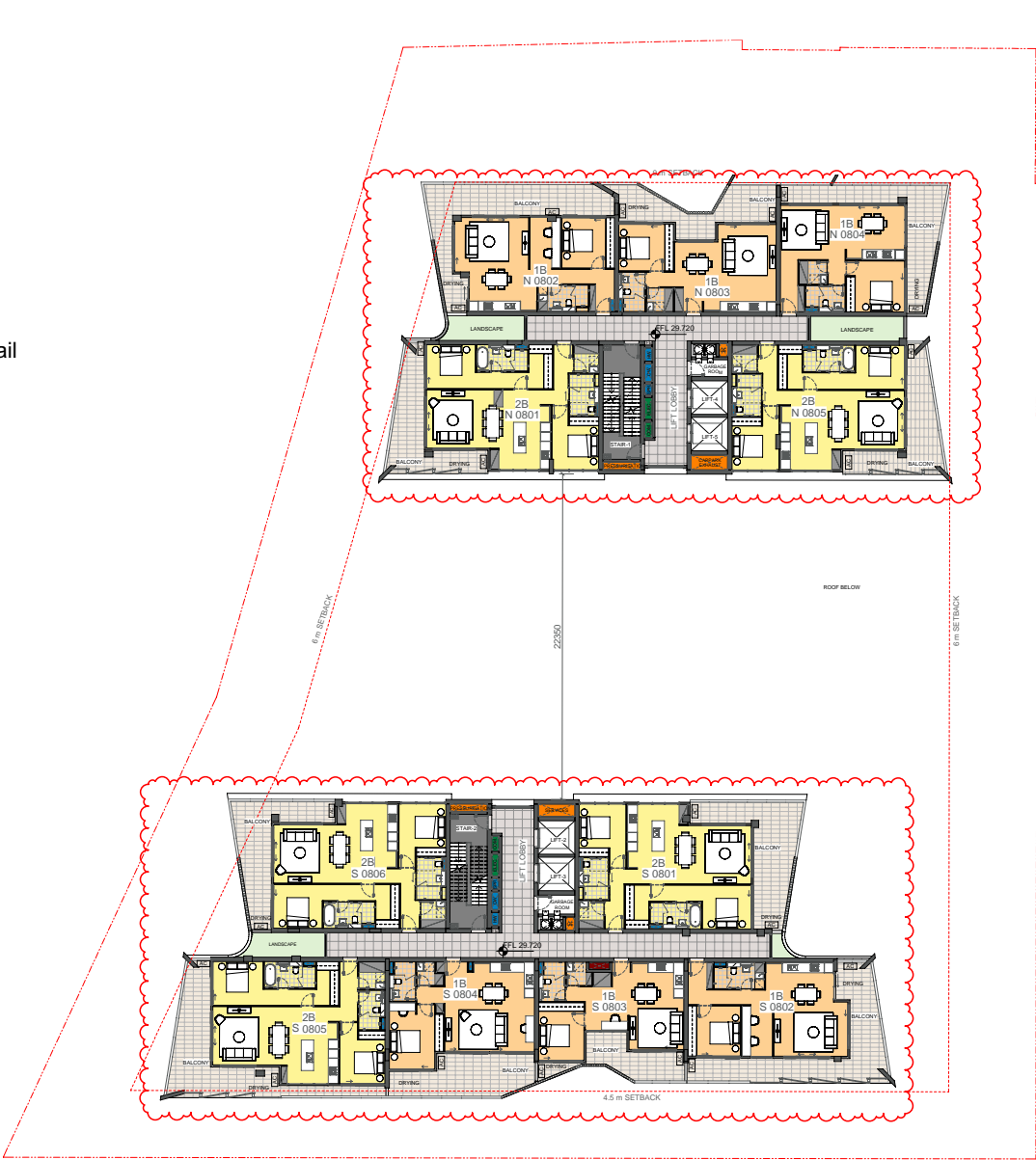
○ Level 08 Plan - Typical Tower - Revised DA

S4.55 COMPARISON

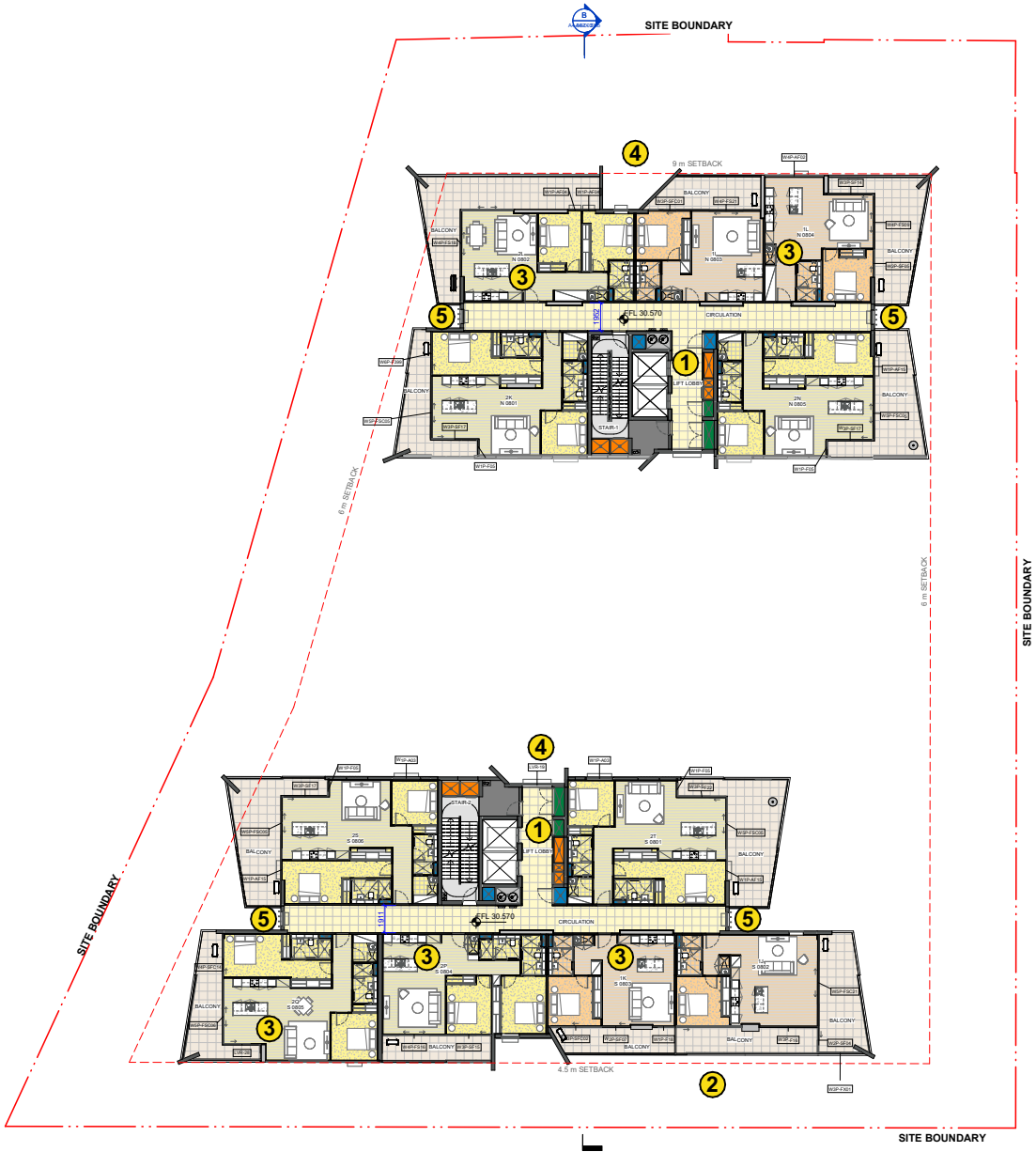
# Level 08 - Typical Tower

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
- 2. Setbacks to boundaries remains the same
- 3. Minor alterations unit layouts and circulation
  - a) Unit S0804 changed from 1 bed to 2 bed
  - b) Unit N0802 changed from 1B to 2B
  - c) Minor planning changes to units generally including external footprint
- 4. Minor alterations to tower geometry and construction detail
- 5. Landscaping removed from buildings central axis.  
Vertical external screens added.



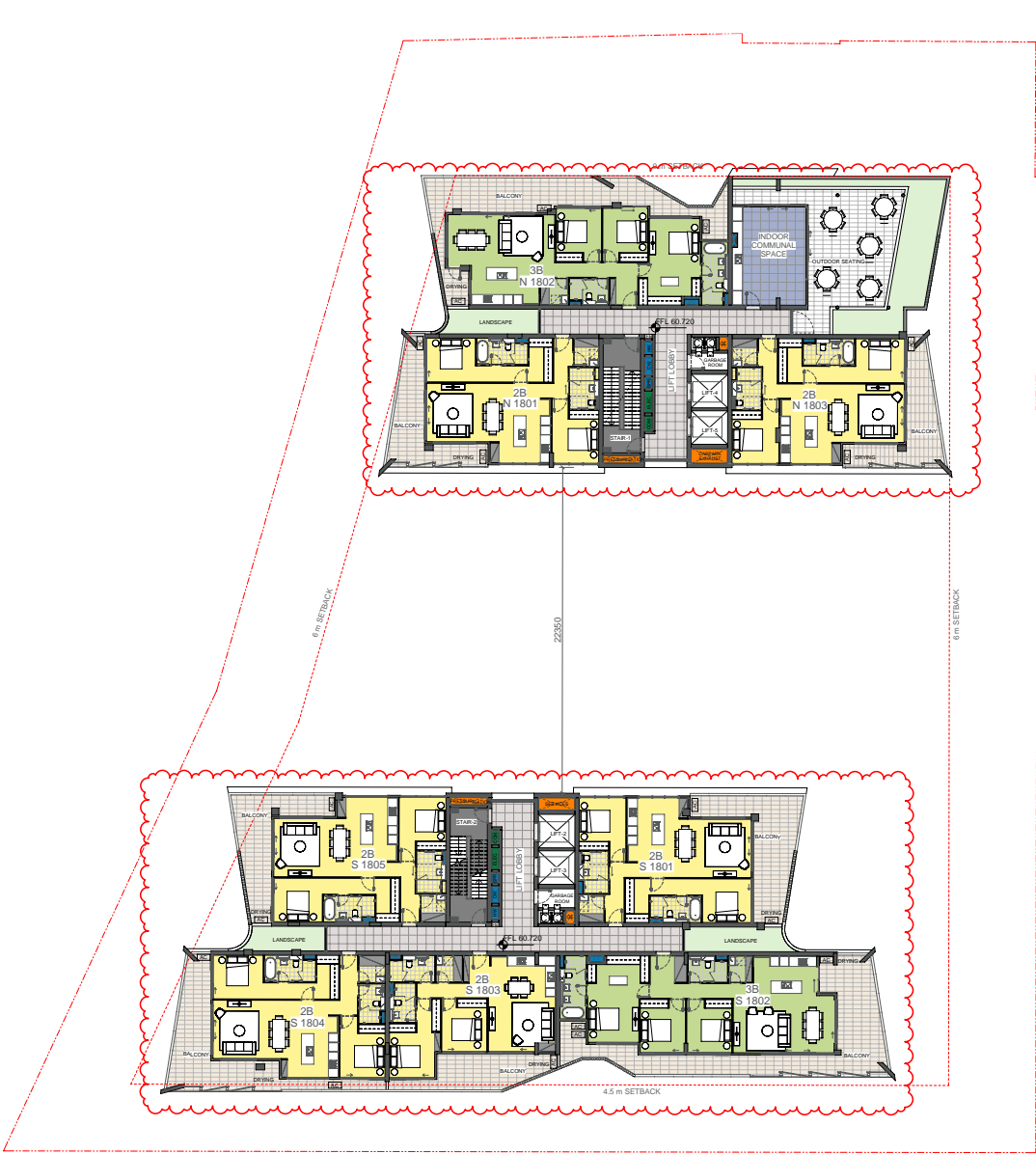
○ Level 08 Plan - Typical Tower - Approved DA



○ Level 08 Plan - Typical Tower - Revised DA



Level 18 - Planning



○ Level 18 Plan - Approved DA



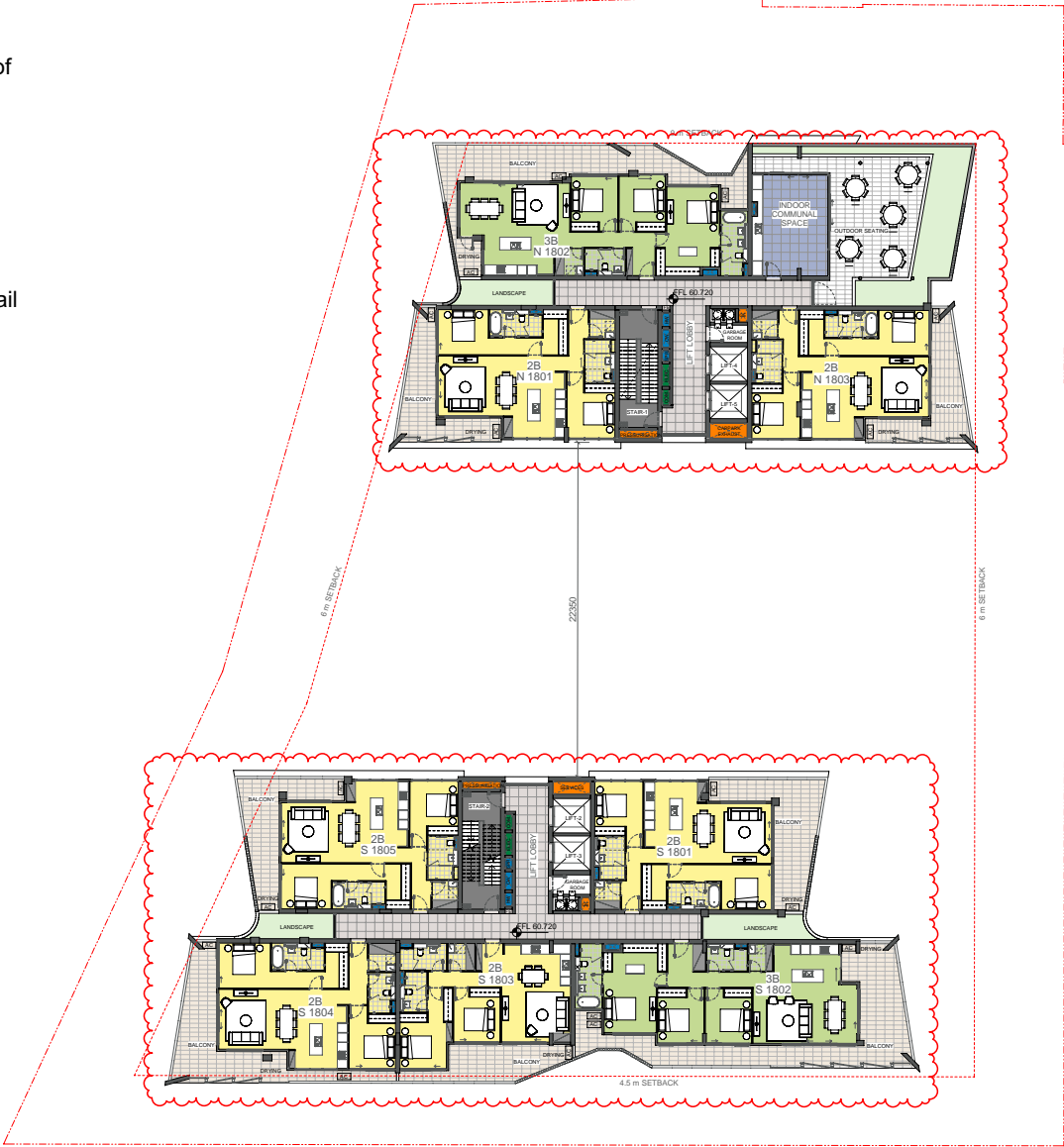
○ Level 18 Plan - Revised DA

S4.55 COMPARISON

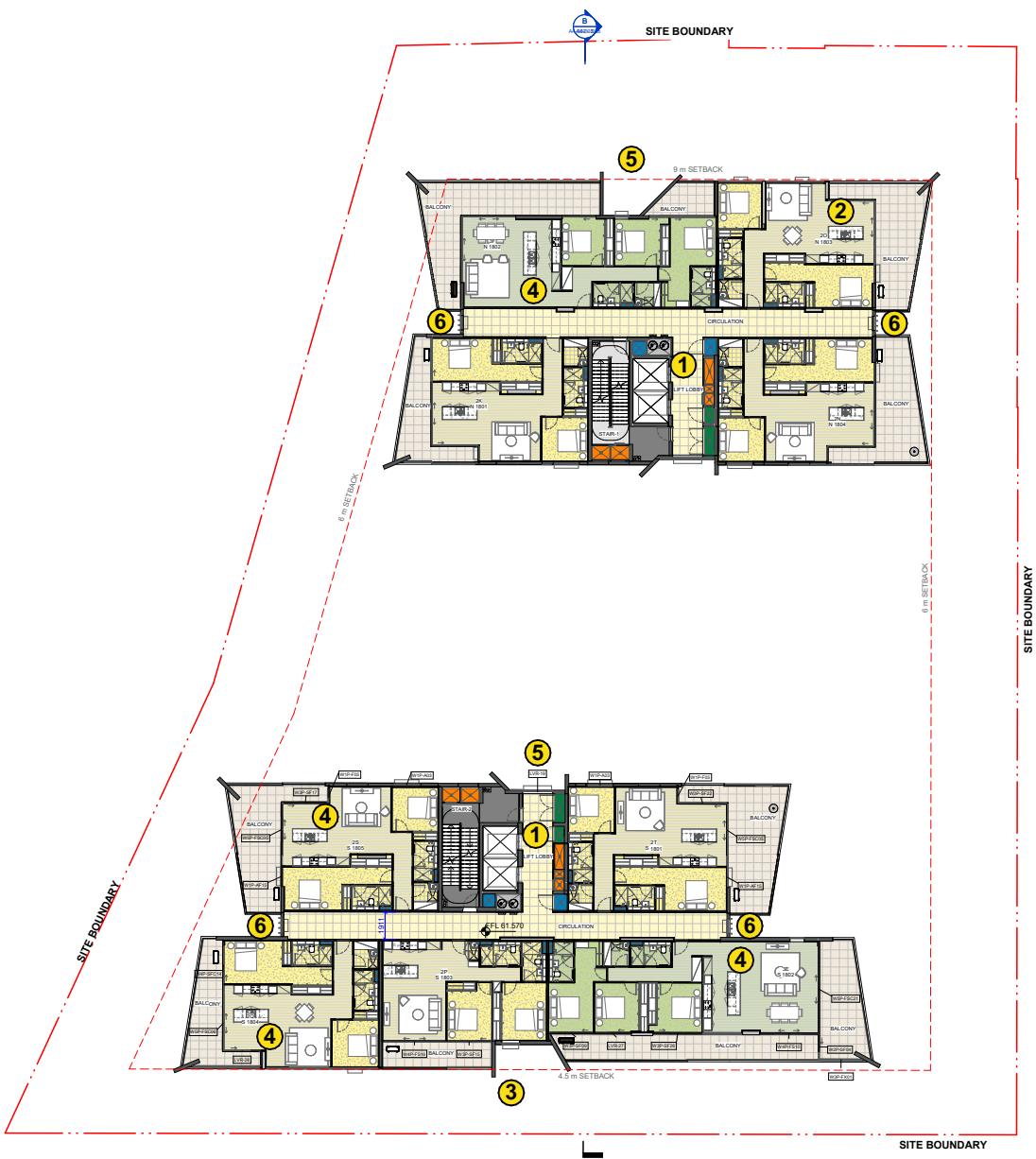
# Level 18 - Planning

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
  - 2. Communal space removed in line of unit too NW corner of north tower
  - 3. Setbacks to boundaries remains the same
  - 4. Minor alterations unit layouts and circulation
    - a) Minor planning changes to units generally including external footprint
  - 5. Minor alterations to tower geometry and construction detail
  - 6. Landscaping removed from buildings central axis
- Vertical external screens added.



○ Level 18 Plan - Approved DA

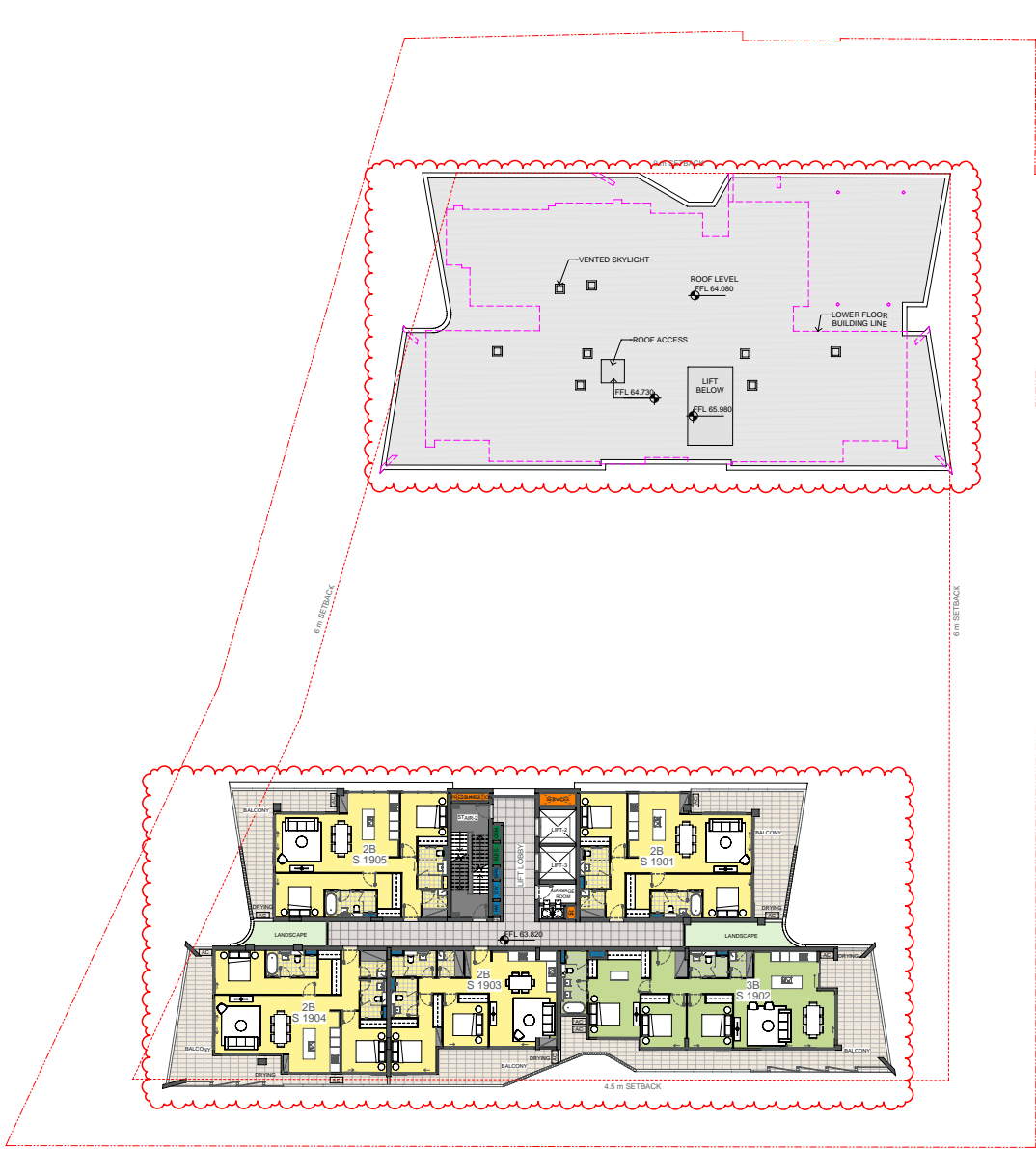


○ Level 18 Plan - Revised DA

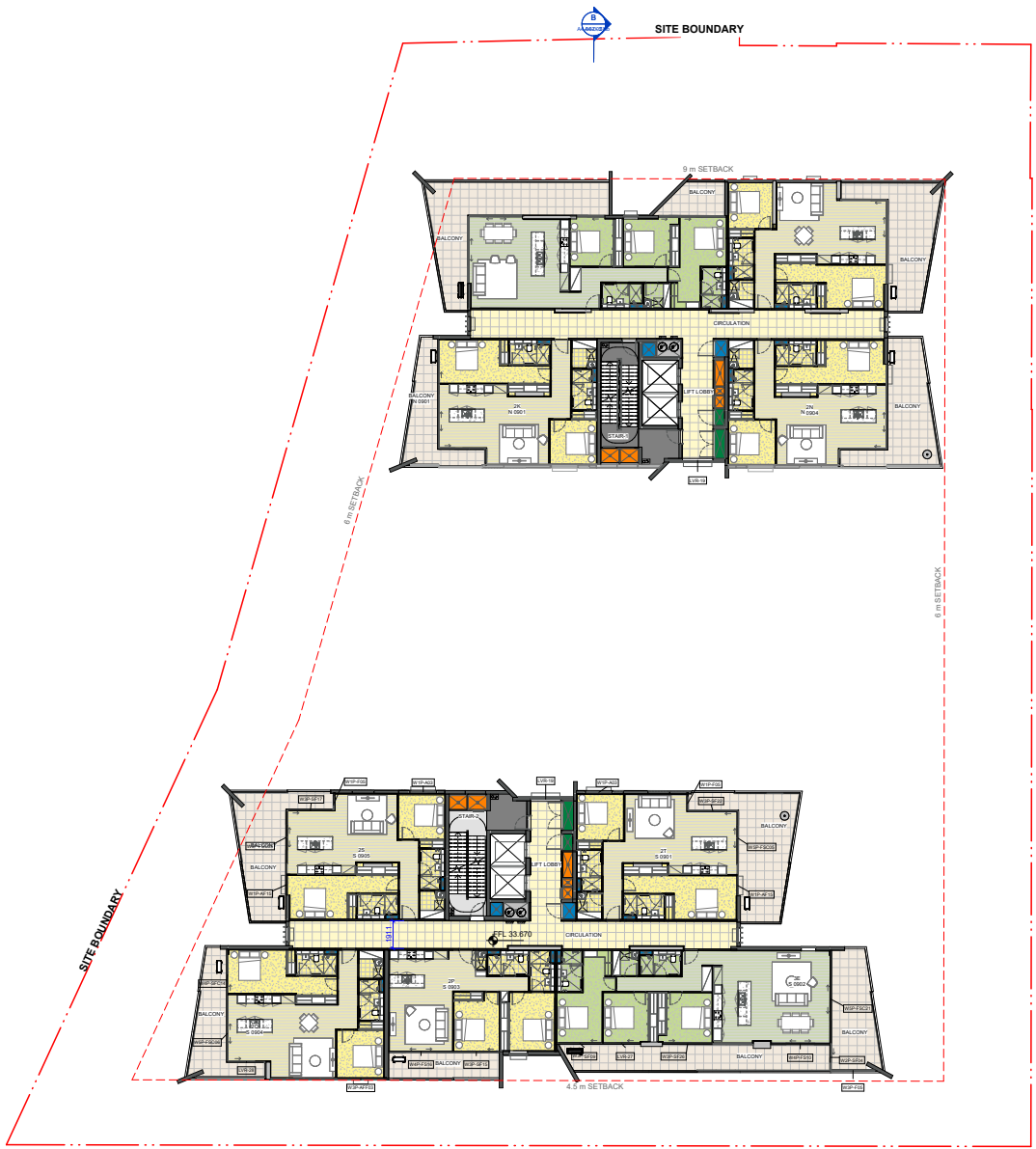
S4.55 COMPARISON



# Level 19 - Planning



○ Level 19 Plan - Approved DA



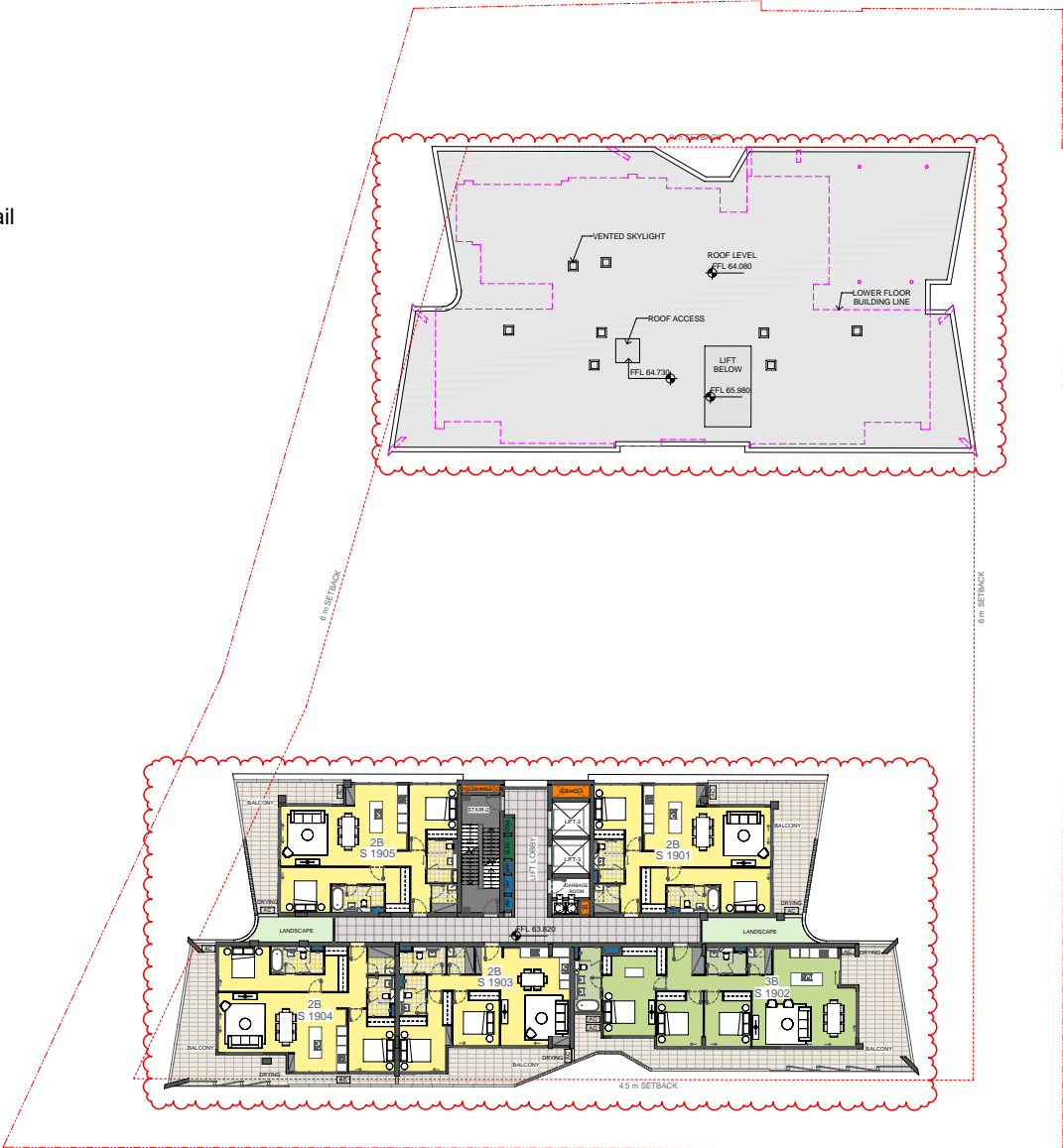
○ Level 19 Plan - Revised DA

S4.55 COMPARISON

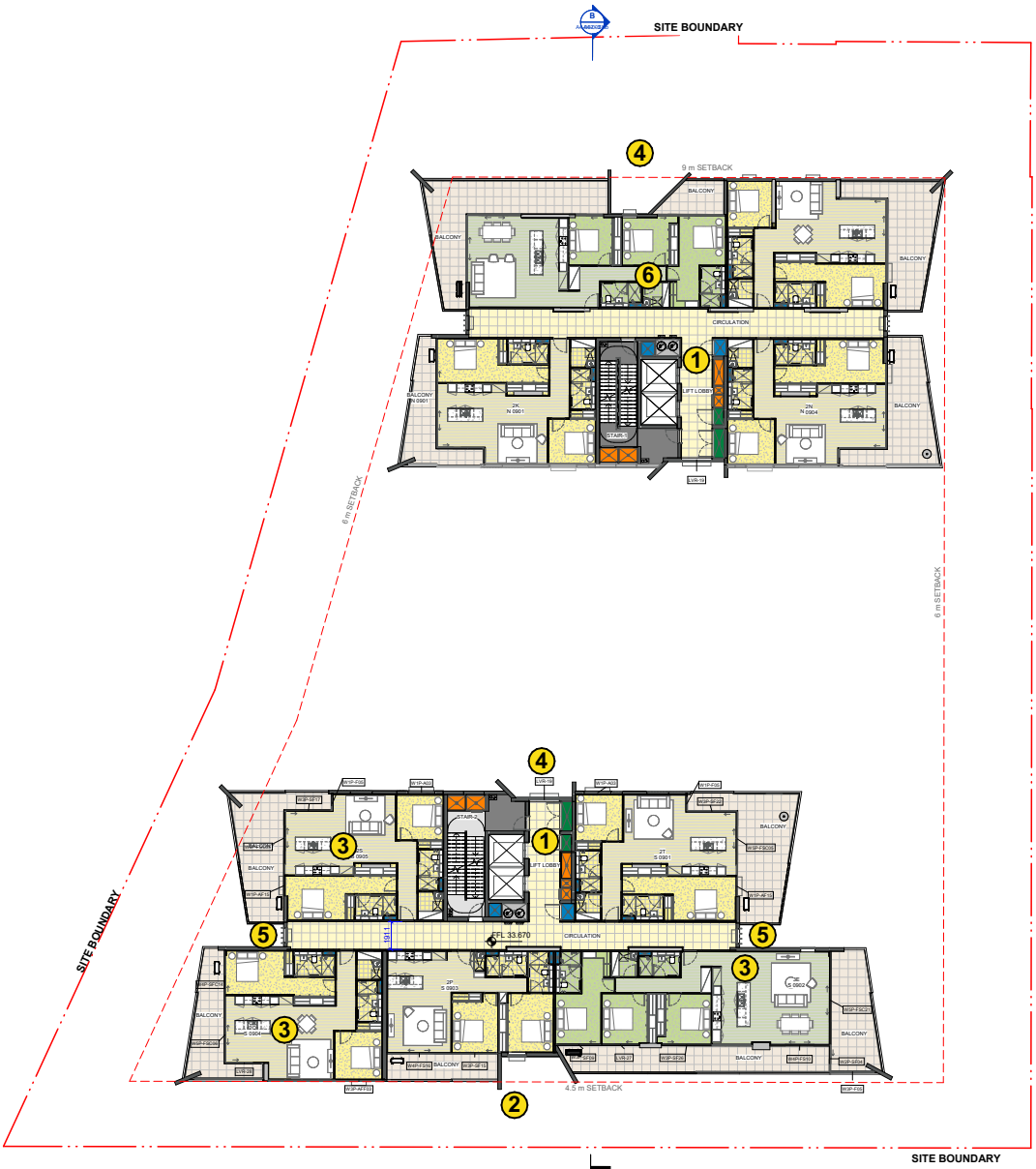
# Level 19 - Planning

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
- 2. Setbacks to boundaries remain the same
- 3. Minor alterations unit layouts and circulation
  - a) Minor planning changes to units generally including external footprint
- 4. Minor alterations to tower geometry and construction detail
- 5. Landscaping removed from buildings central axis
  - Vertical external screens added.
- 6. Additional level added to North tower, comprised of communal space, solar and services



○ Level 19 Plan - Approved DA

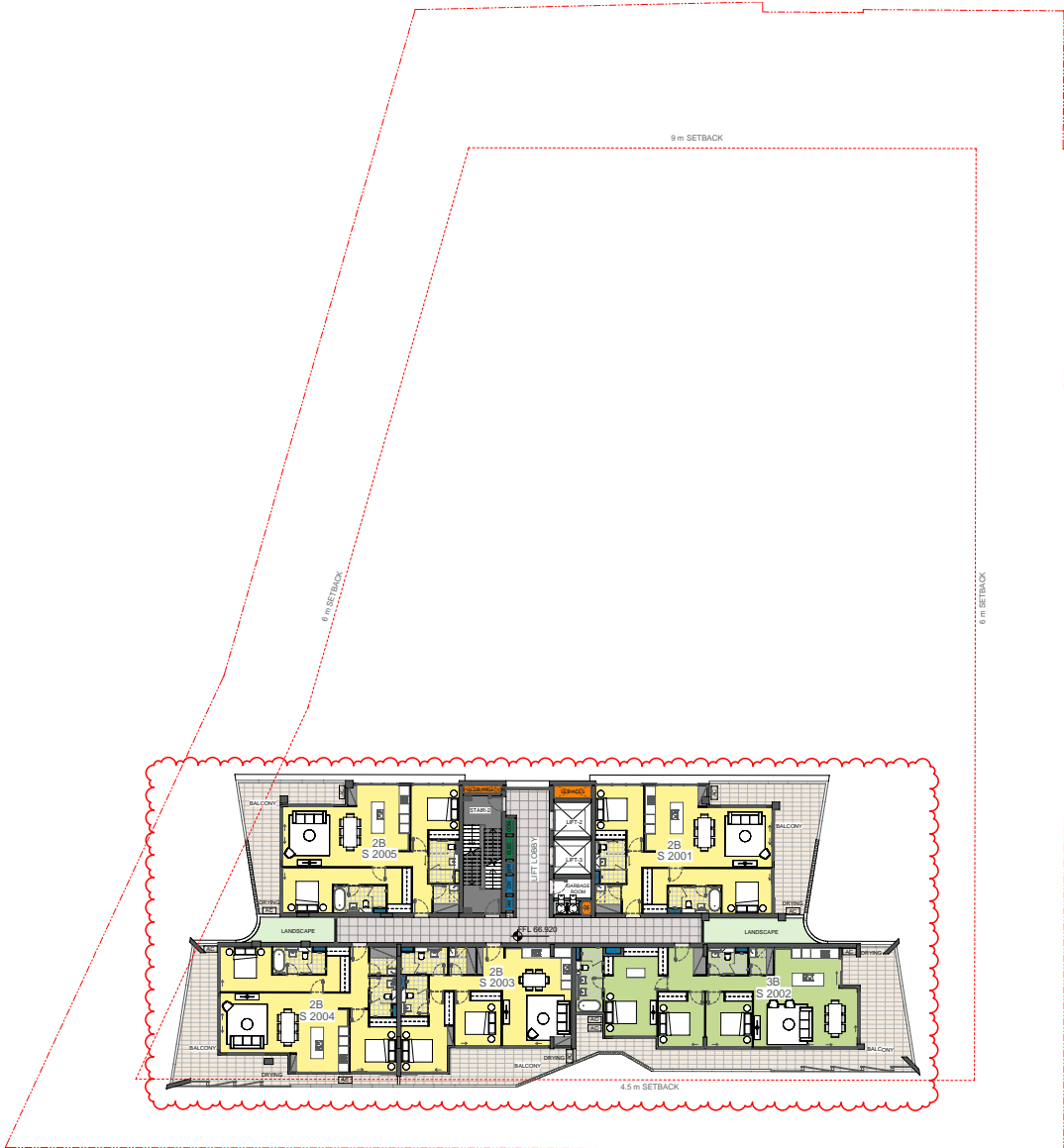


○ Level 19 Plan - Revised DA

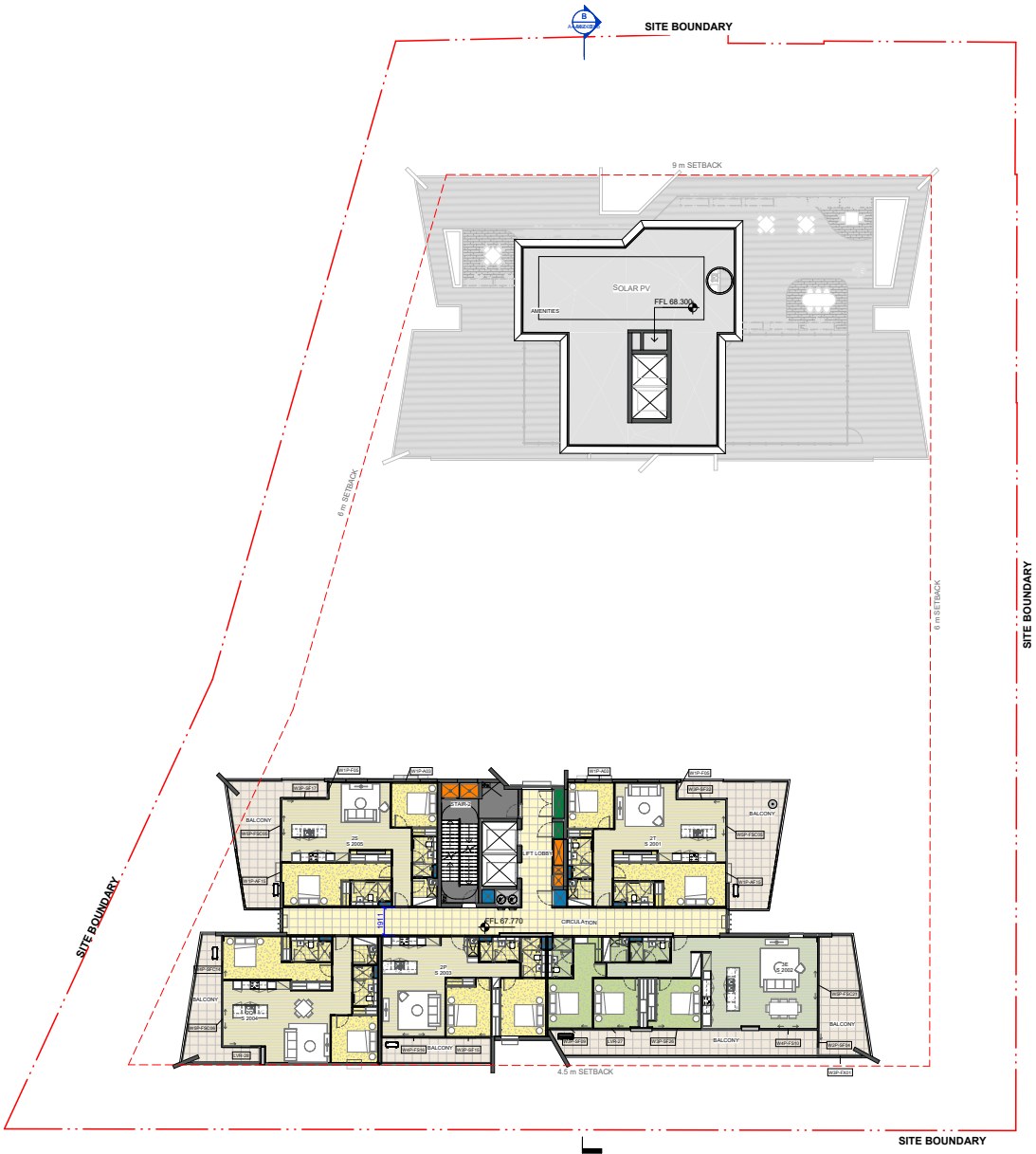
S4.55 COMPARISON



# Level 20 - Planning



○ Level 20 Plan - Approved DA



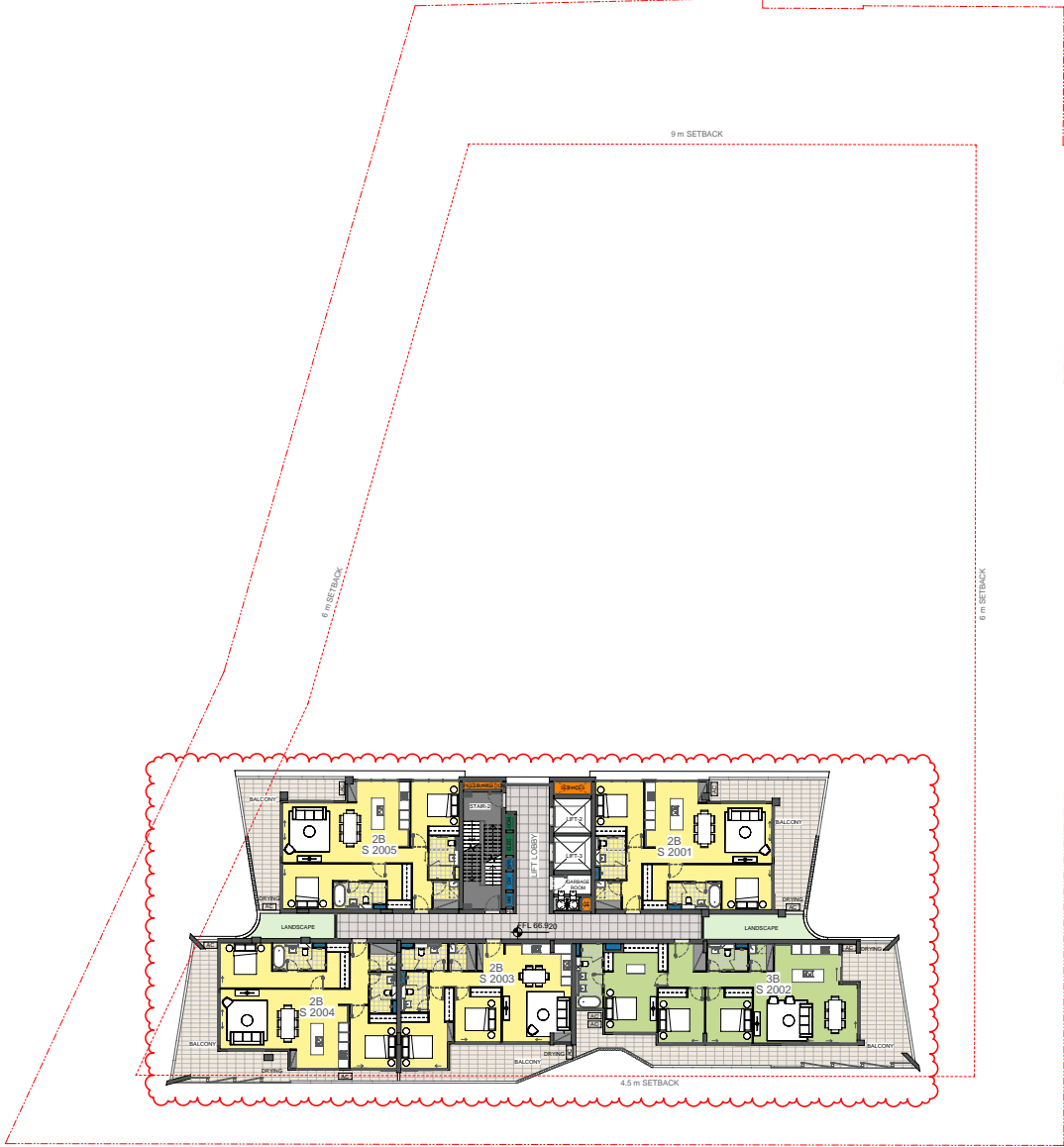
○ Level 20 Plan - Revised DA

S4.55 COMPARISON

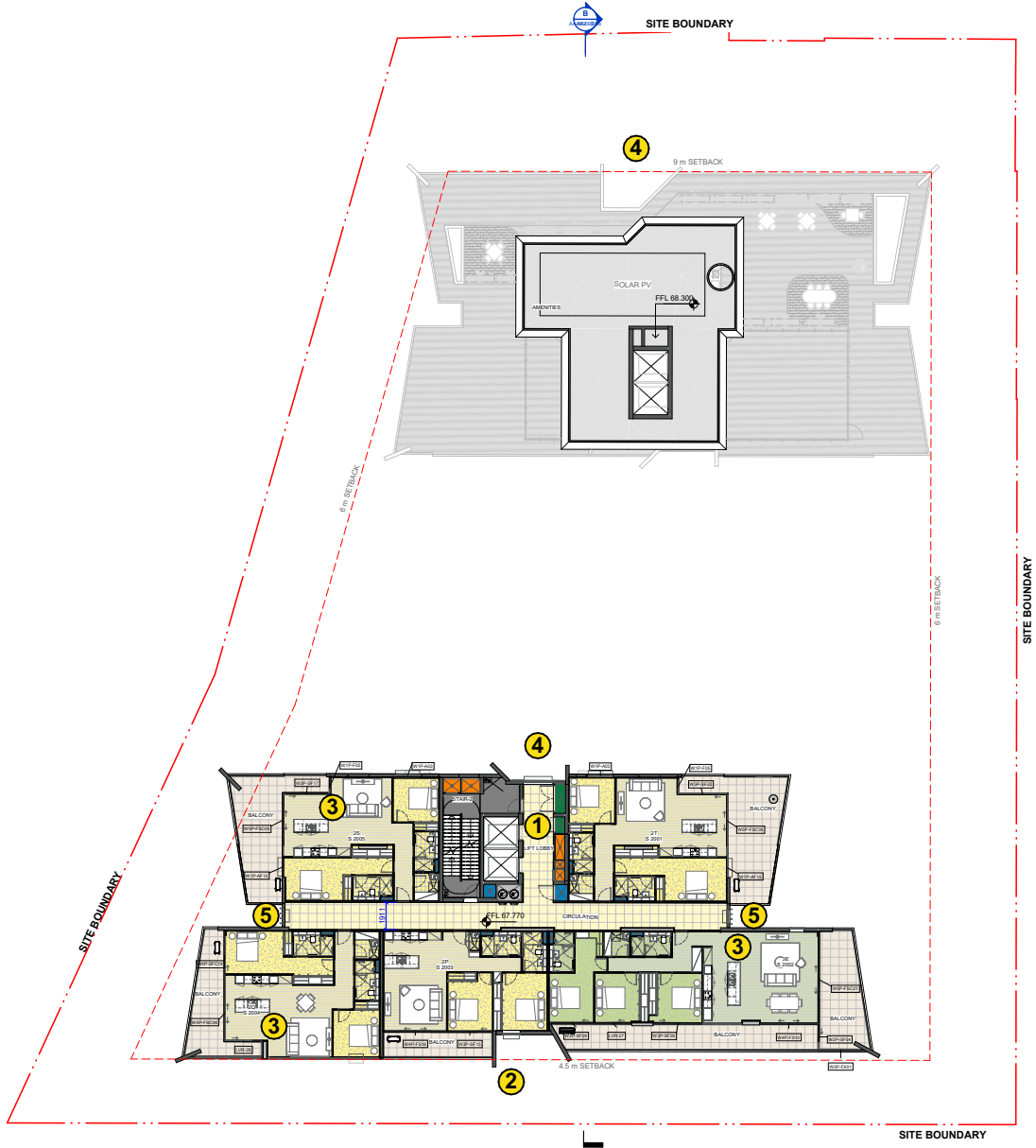
# Level 20 - Planning

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
  - 2. Setbacks to boundaries remain the same
  - 3. Minor alterations unit layouts and circulation
    - a) Minor planning changes to units generally including external footprint
  - 4. Minor alterations to tower geometry and construction detail
  - 5. Landscaping removed from buildings central axis
- Vertical external screens added.



○ Level 20 Plan - Approved DA

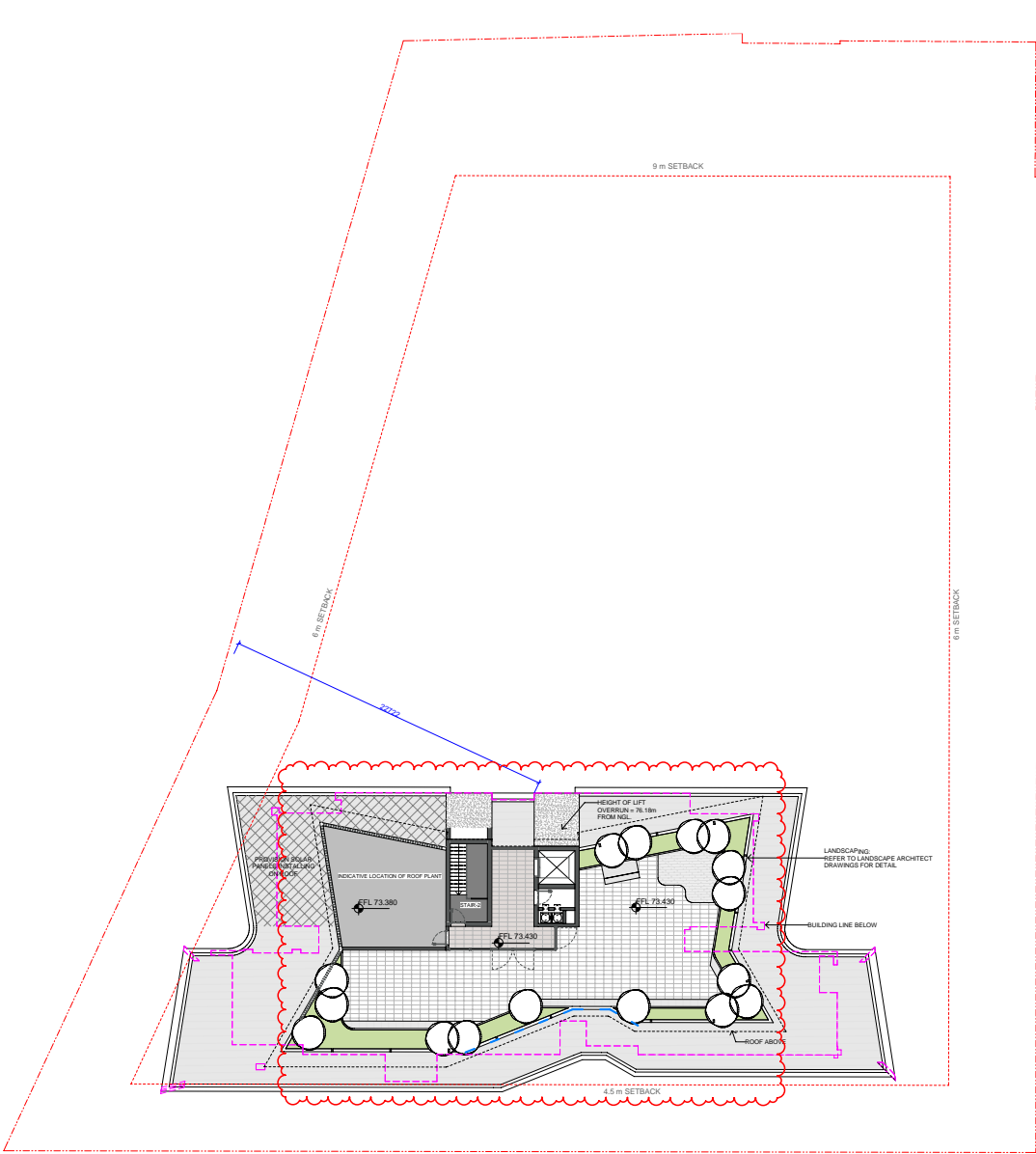


○ Level 20 Plan - Revised DA

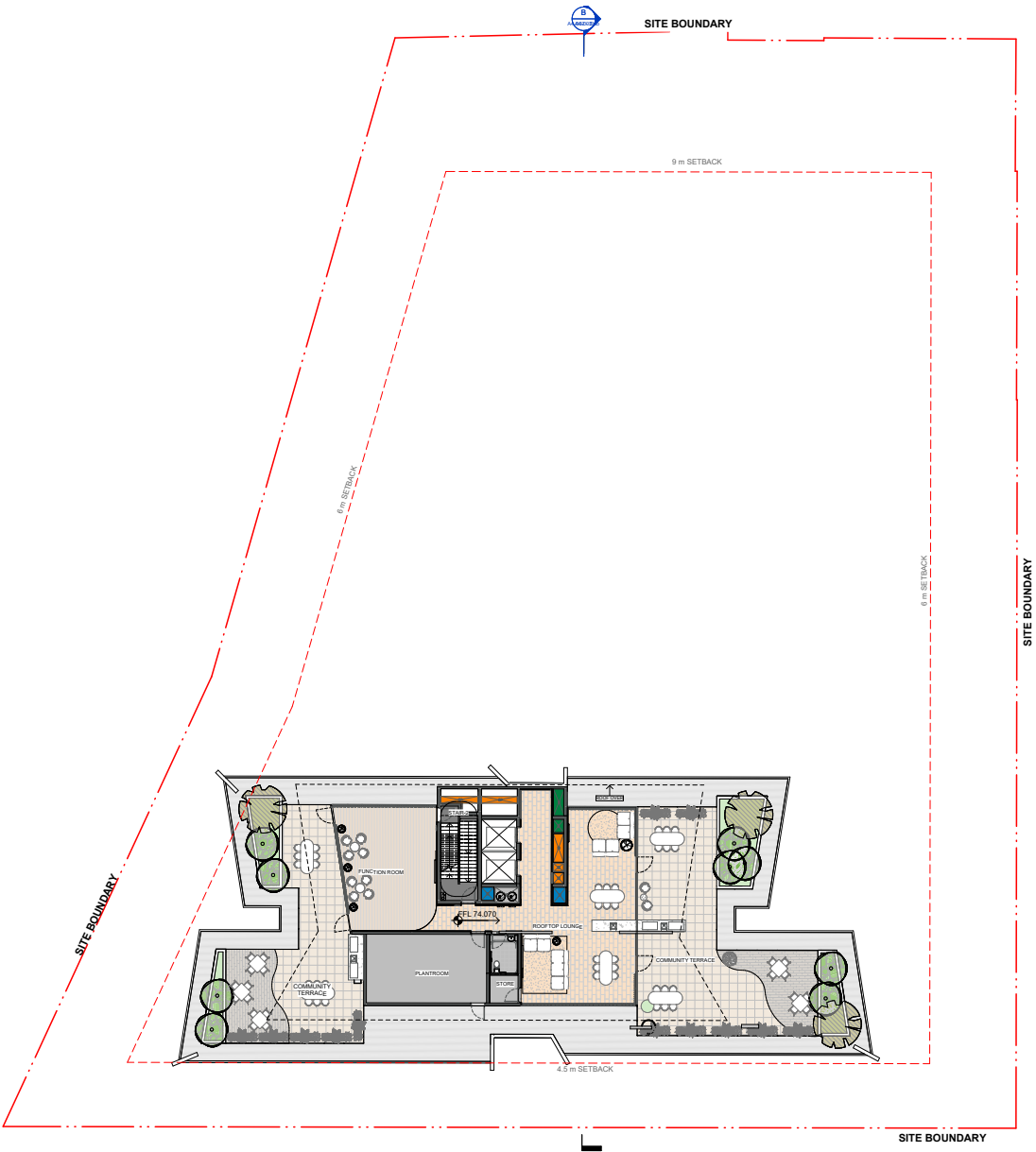
S4.55 COMPARISON



# Roof - Planning



○ Roof Plan - Approved DA



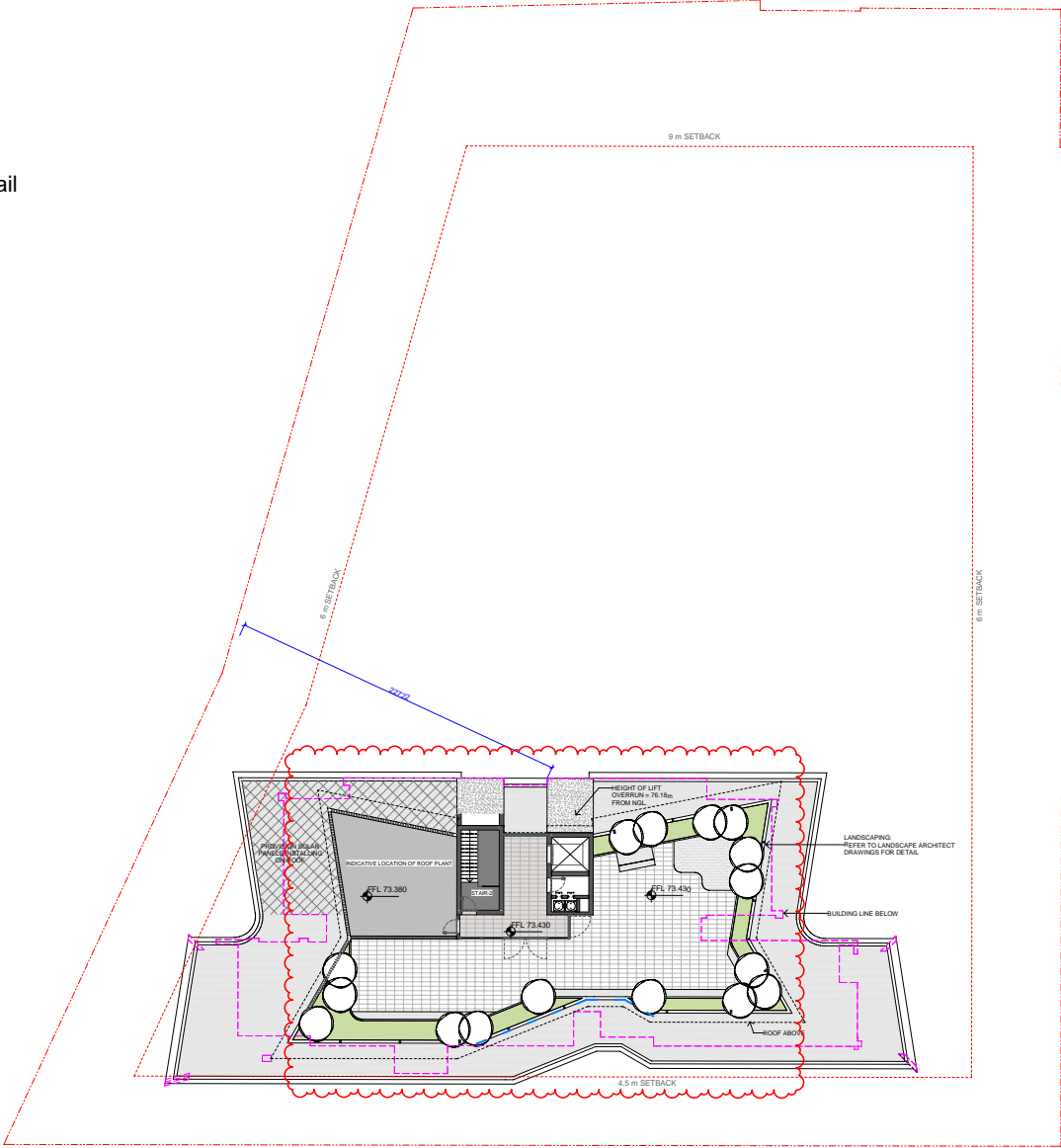
○ Roof Plan - Revised DA

S4.55 COMPARISON

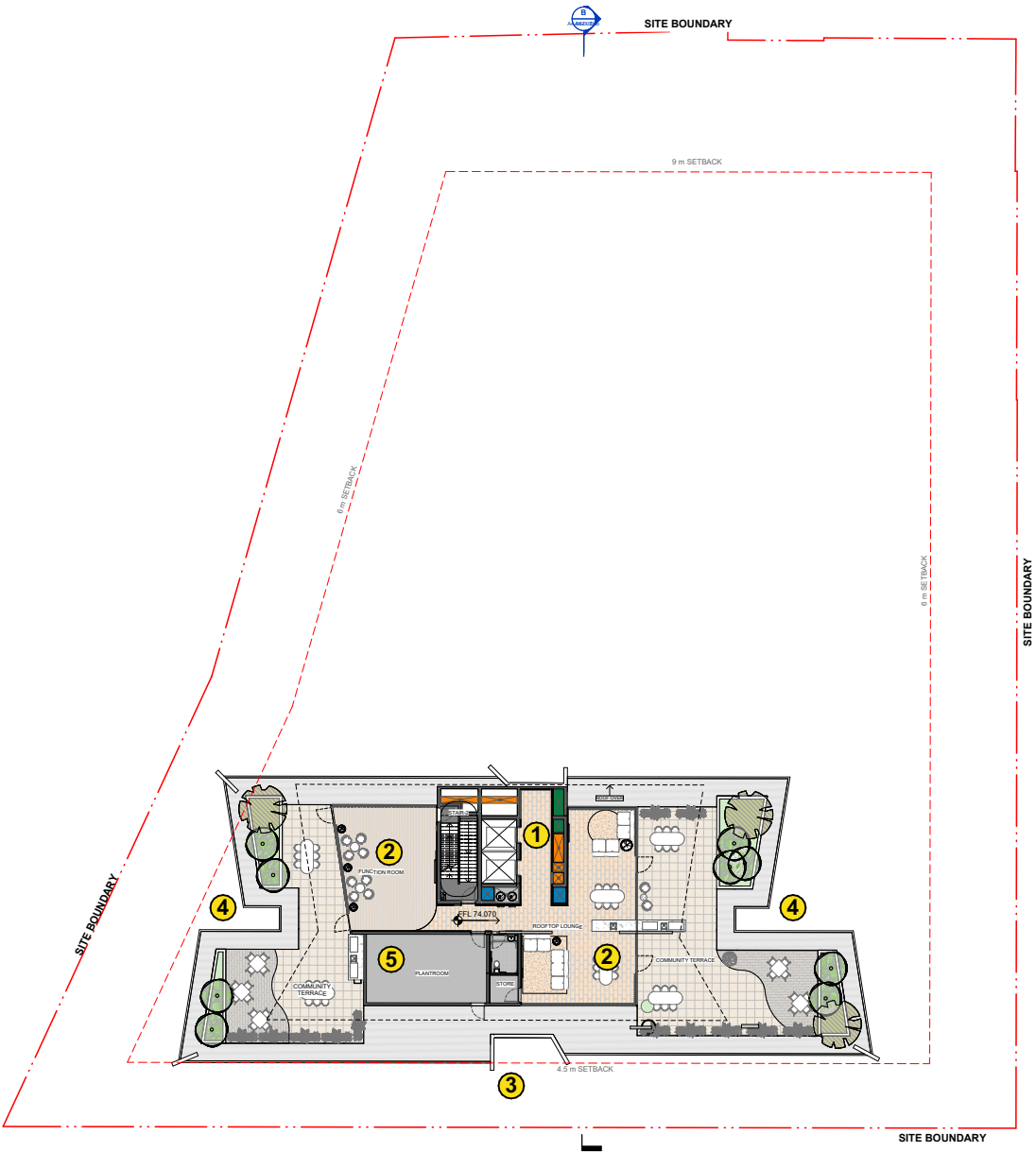
# Roof - Planning

## Key Changes:

- 1. Lobbies changed - lift locations, consolidated with stair following structural input
- 2. South tower communal space increased and enhanced
- 3. Setbacks to boundaries remains the same
- 4. Minor alterations to tower geometry and construction detail
- 5. Plant service room location changed



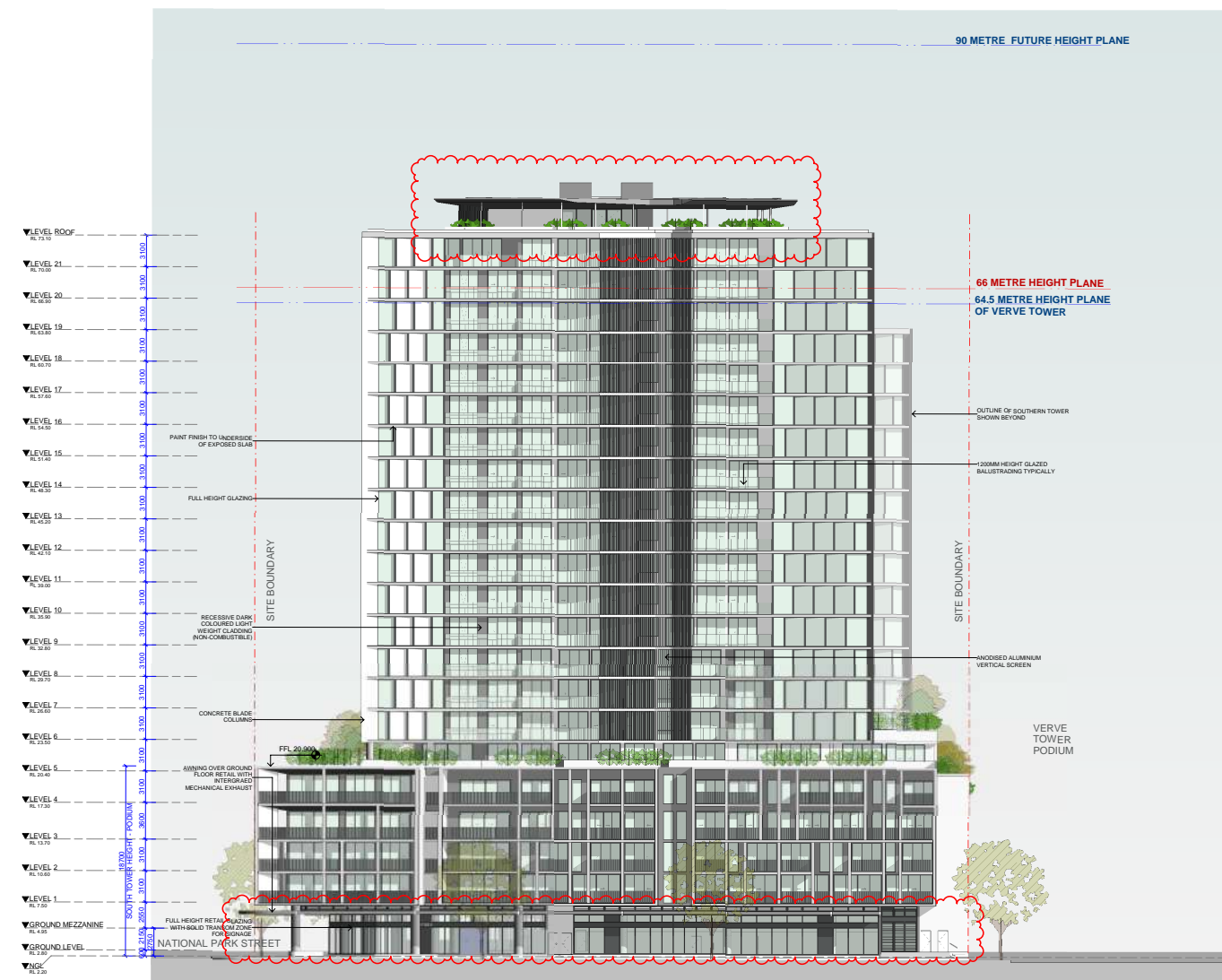
○ Roof Plan - Approved DA



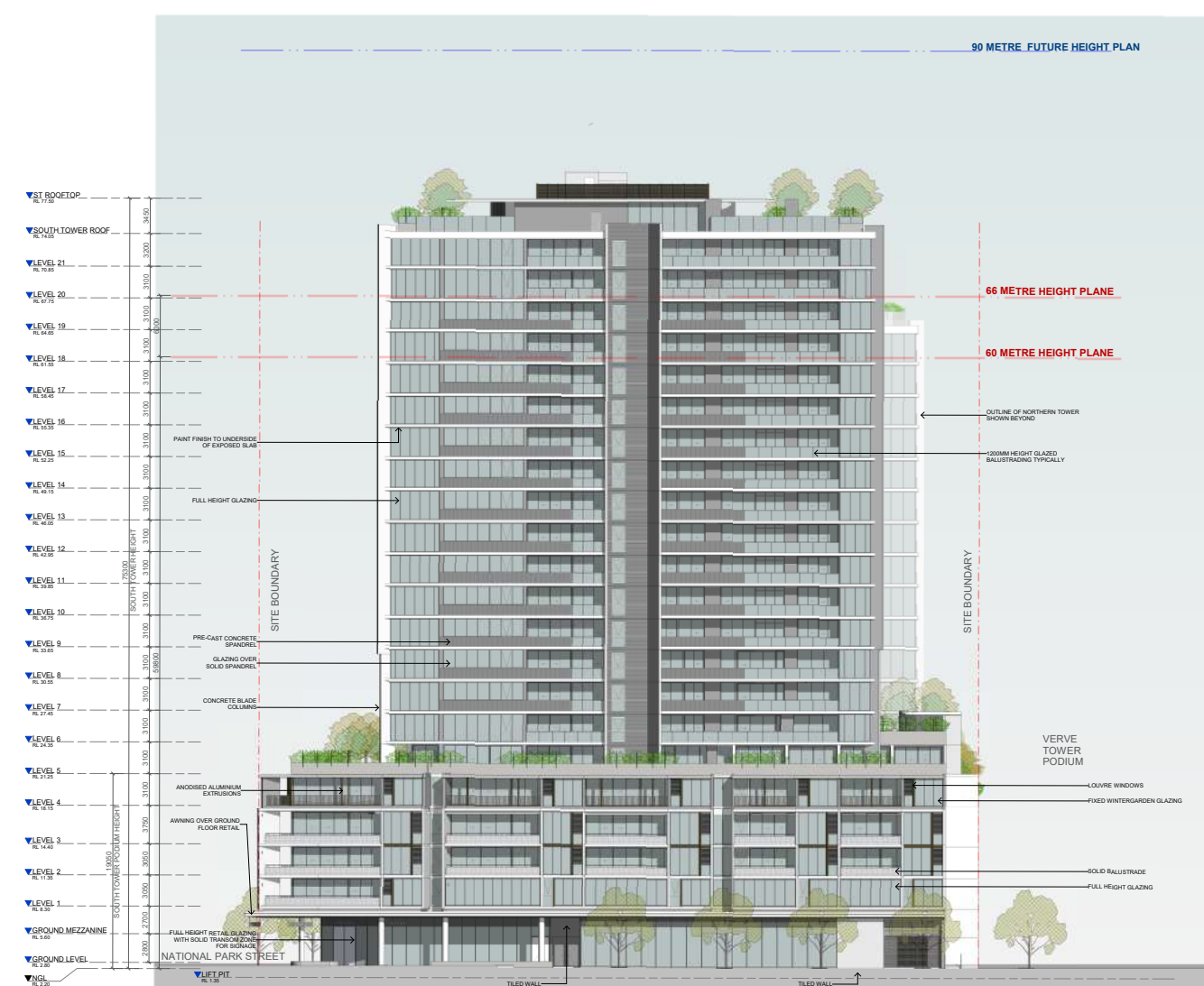
○ Roof Plan - Revised DA



## Elevation 01 - King St



Elevation 01 - Approved DA



○ Elevation 01 - Revised DA

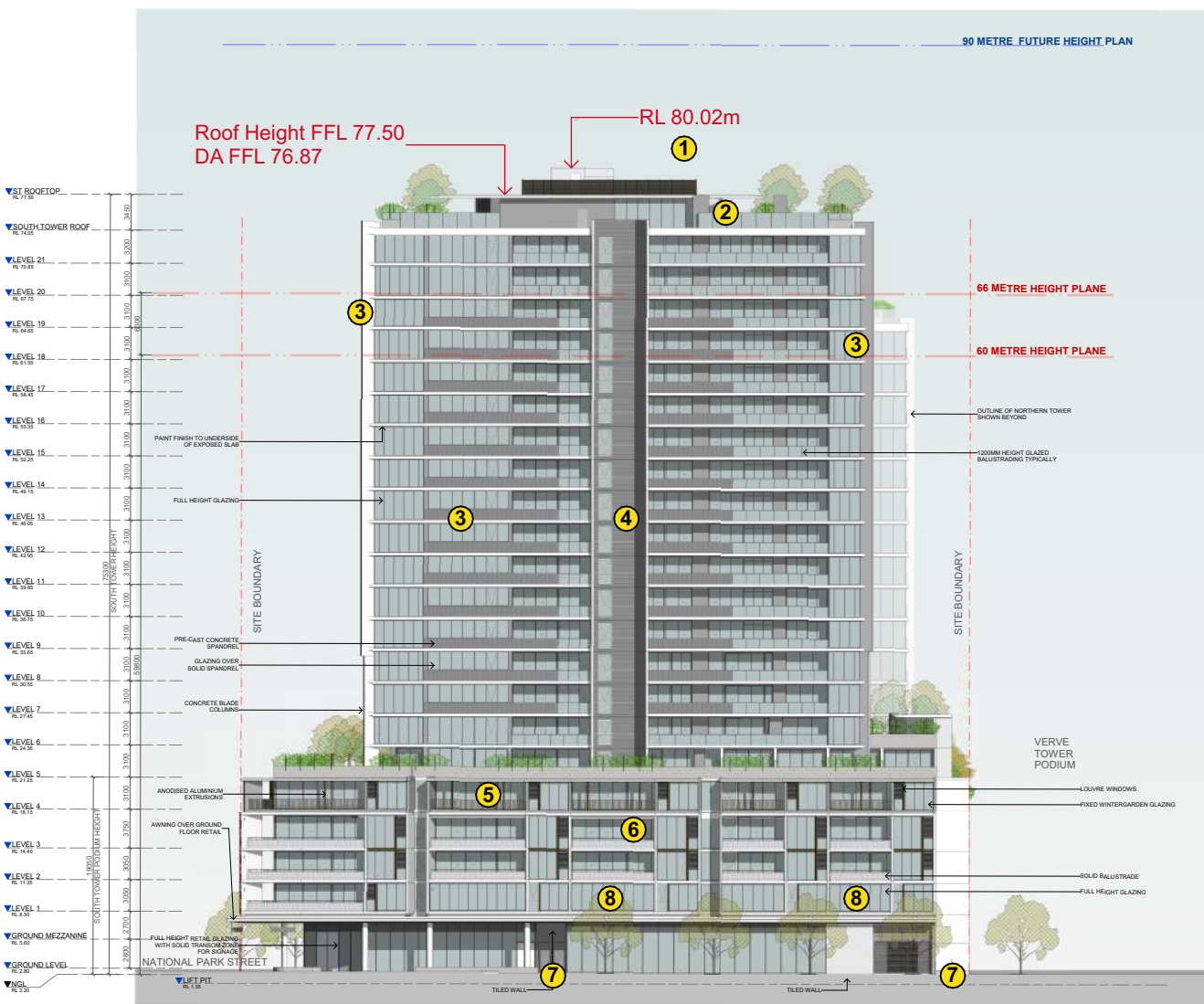
# Elevation 01 - King St



Elevation 01 - Approved DA

## Key Changes:

1. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
2. Rooftop communal area on South building has been increased.
3. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.
4. A central pre-cast slot has been introduced to articulate the tower forms and address councils request for reduction of horizontal design language on the tower.

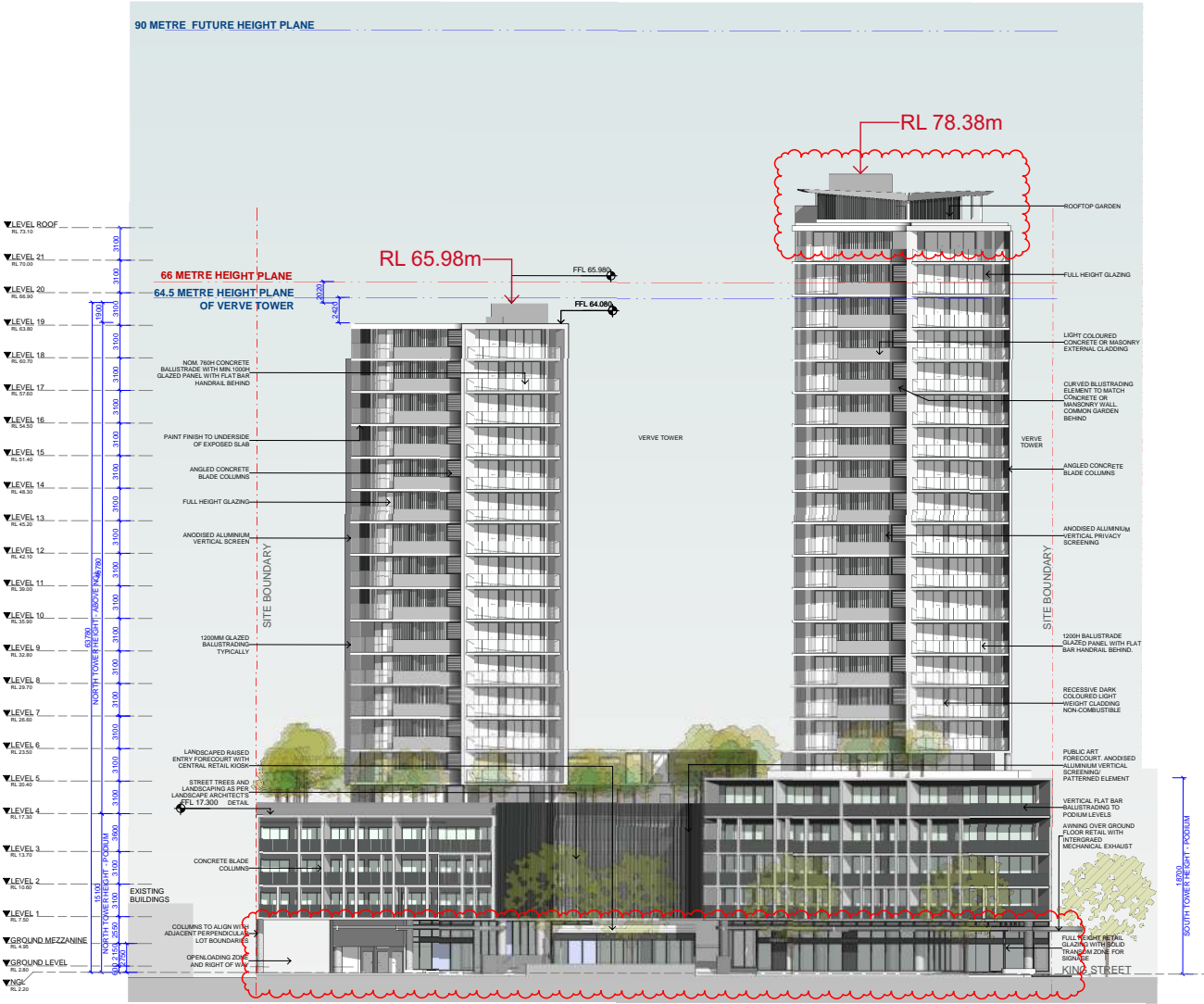


Elevation 01 - Revised DA

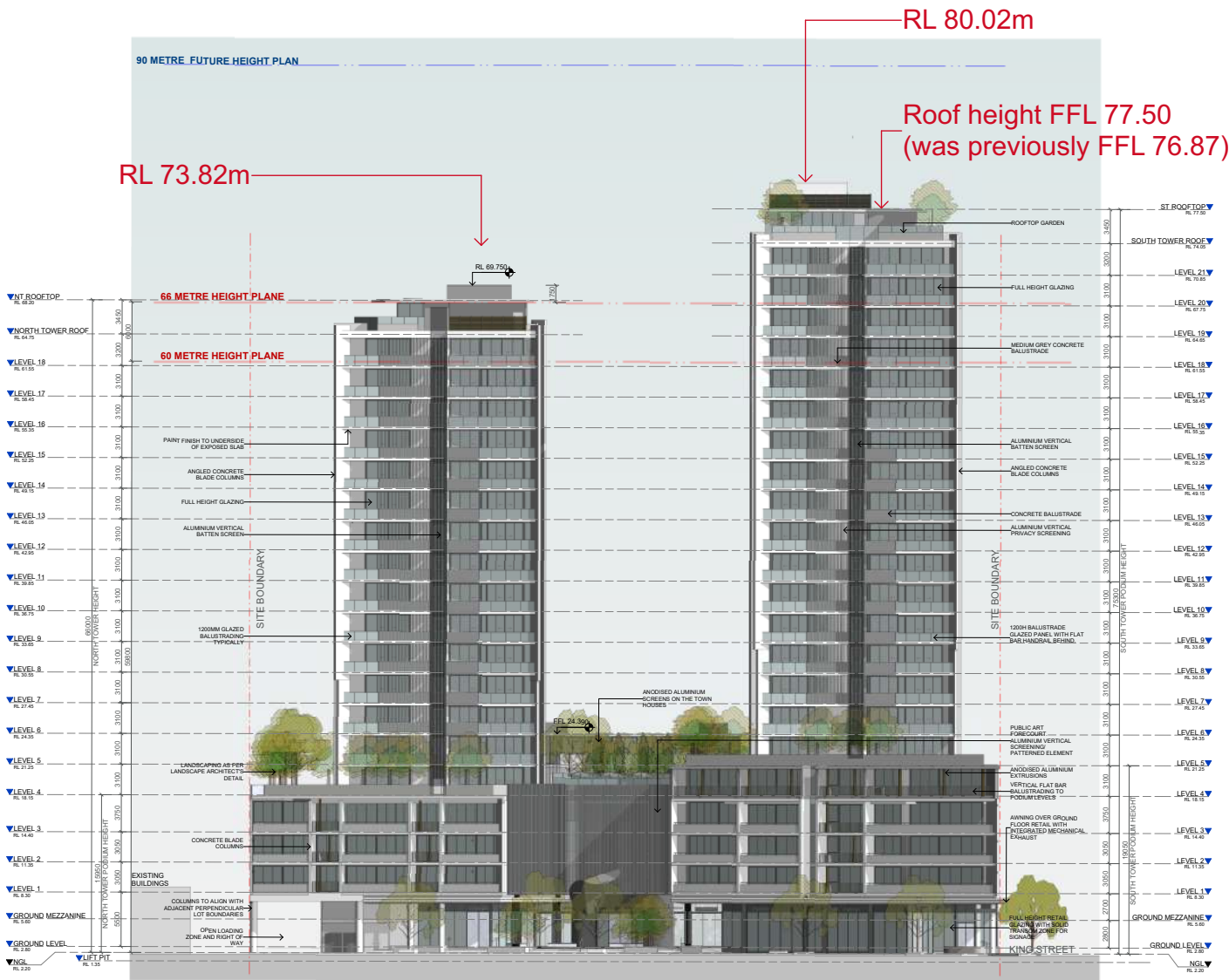
5. Podium - The podium has been re-evaluated to align with preferred building methodologies reflecting the current economic climate. Anodised aluminium feature columns on the balconies are proposed and the design simplified.
6. Solid balustrades to podium levels have been introduced along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street.
7. Increase to substation along King Street. Tiled wall proposed to address substation requirements. Louvre screens similar to Verve proposed for the substation.
8. Enclosure of commercial balcony areas on Level 1 to increase overall commercial floor area.



# Elevation 02 - National Park St



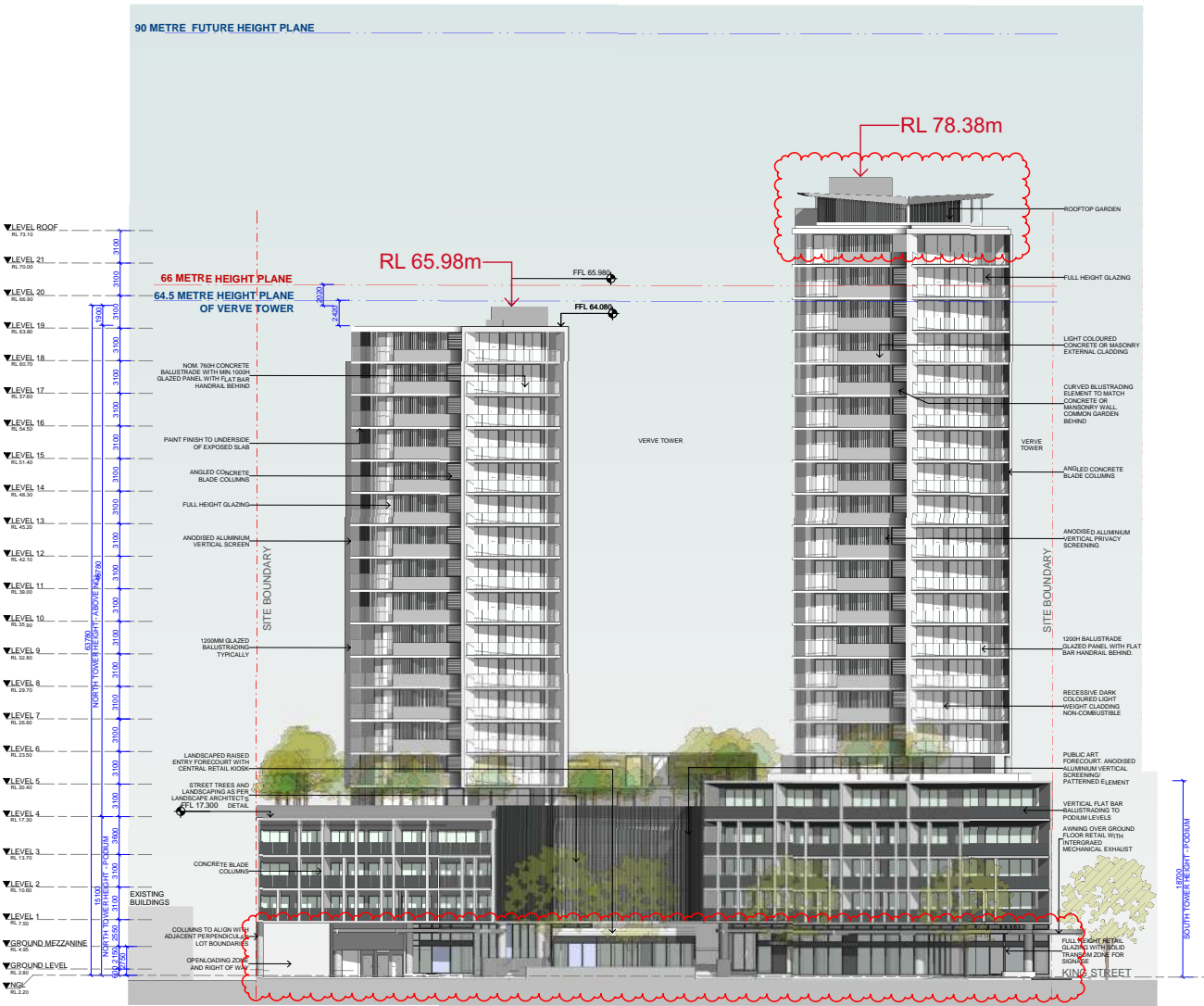
Elevation 02 - Approved DA



Elevation 02 - Revised DA

S4.55 COMPARISON

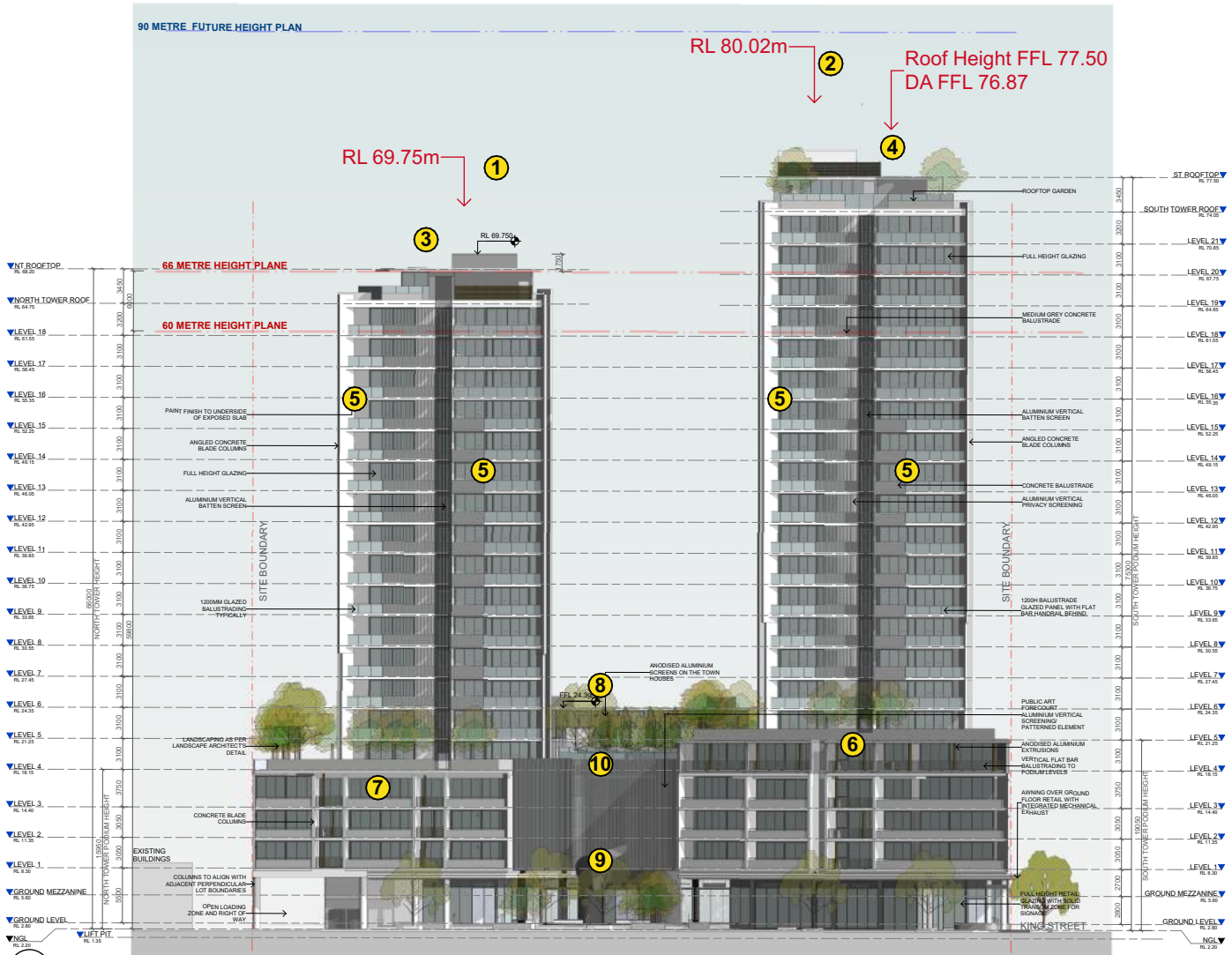
# Elevation 02 - National Park St



Elevation 02 - Approved DA

## Key Changes:

1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.
2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
4. Rooftop communal area on South building has increased.
5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges. Vertical screens added to the East and West elevations to enhance the vertical architectural language in lieu of landscape planting to end of corridors.

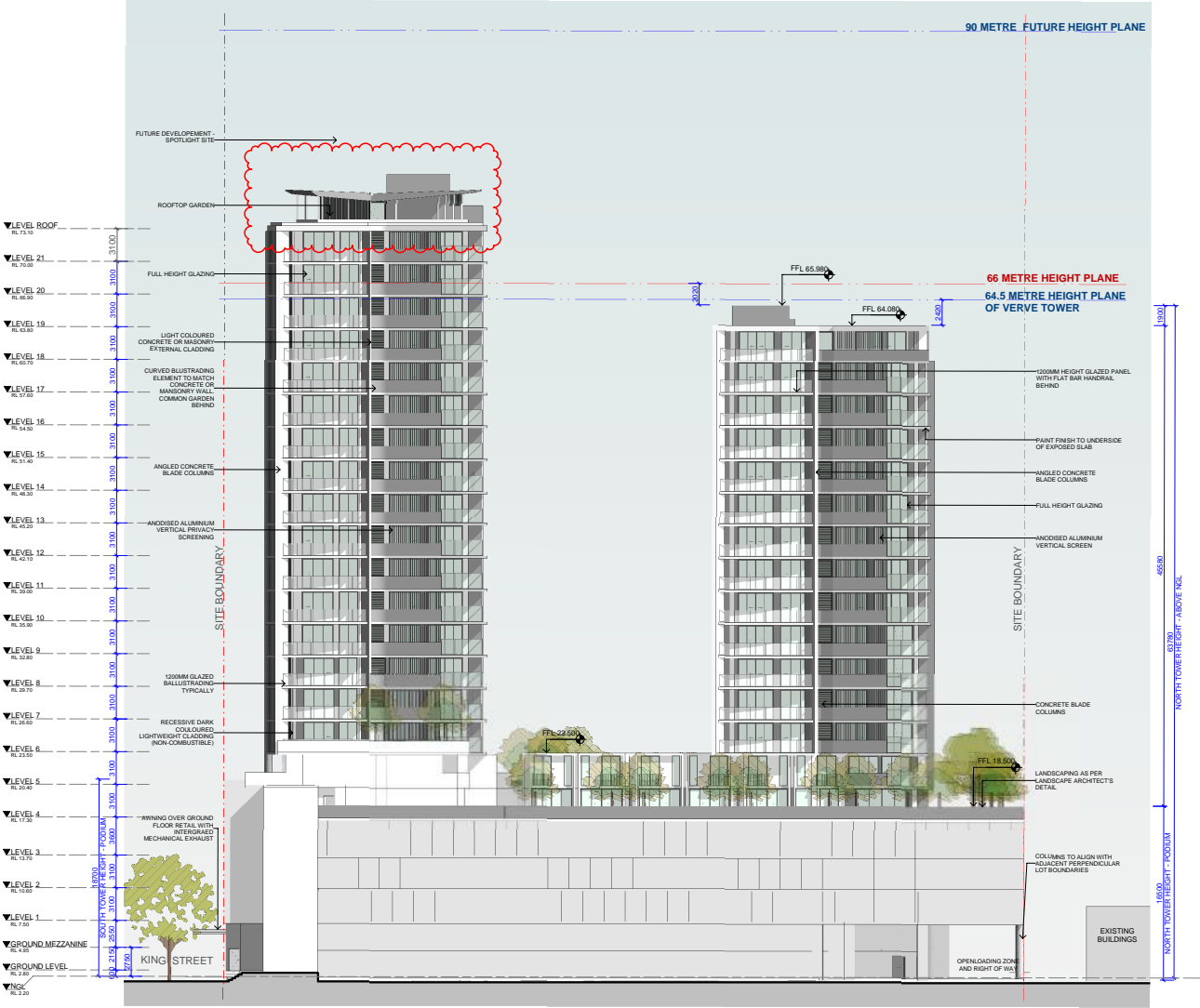


6. Podium - The podium has been re-evaluated to align with preferred building methodologies reflecting the current economic climate. Anodised aluminium feature columns on the balconies have been proposed and the design simplified.
7. Solid balustrades to podium levels have been introduced along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street.
8. Enhance communal spaces with better amenity, including pool and podium.
9. Improved access and amenity to forecourt. Increased landscaping and outdoor seating.
10. Width of Forecourt Screening at upper podium levels has decreased due to revised unit planning. Forecourt Screening to be integrated into the Public Art Proposal.

S4.55 COMPARISON



# Elevation 03 - North Elevation



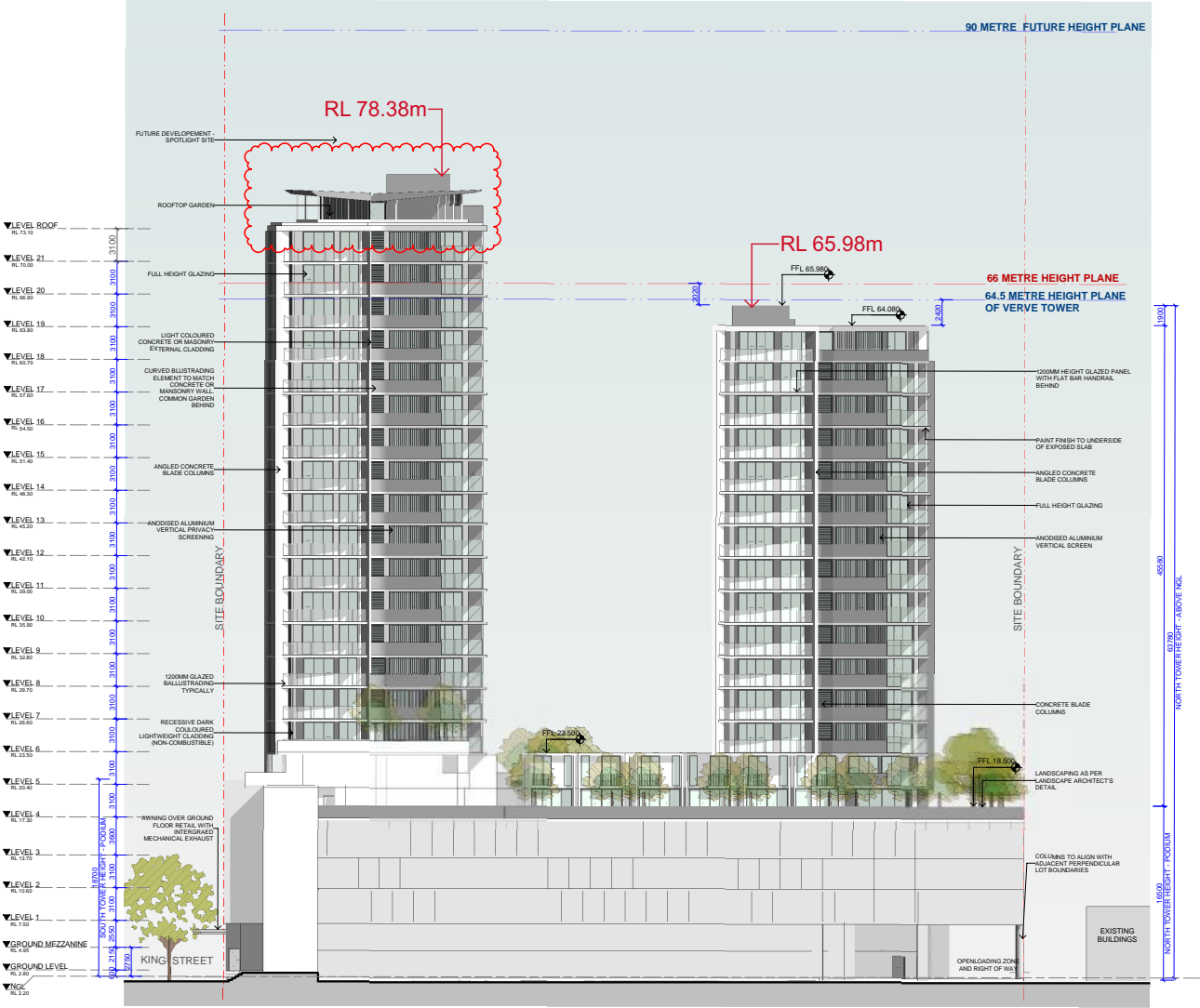
Elevation 03 - Approved DA



Elevation 03 - Revised DA

S4.55 COMPARISON

# Elevation 03 - North Elevation



Elevation 03 - Approved DA

## Key Changes:

1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.
2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
4. Rooftop communal area on South building has increased.

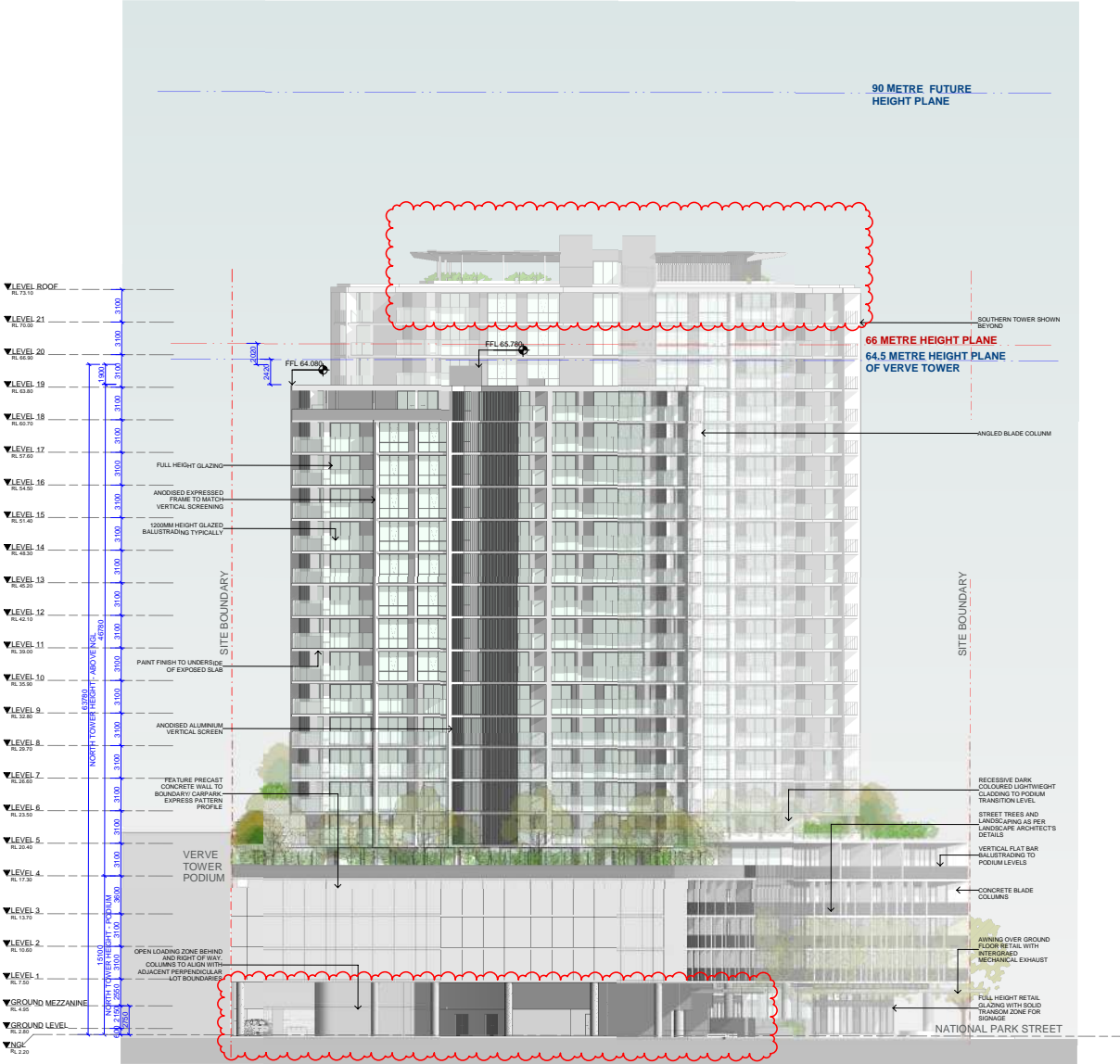


Elevation 03 - Revised DA

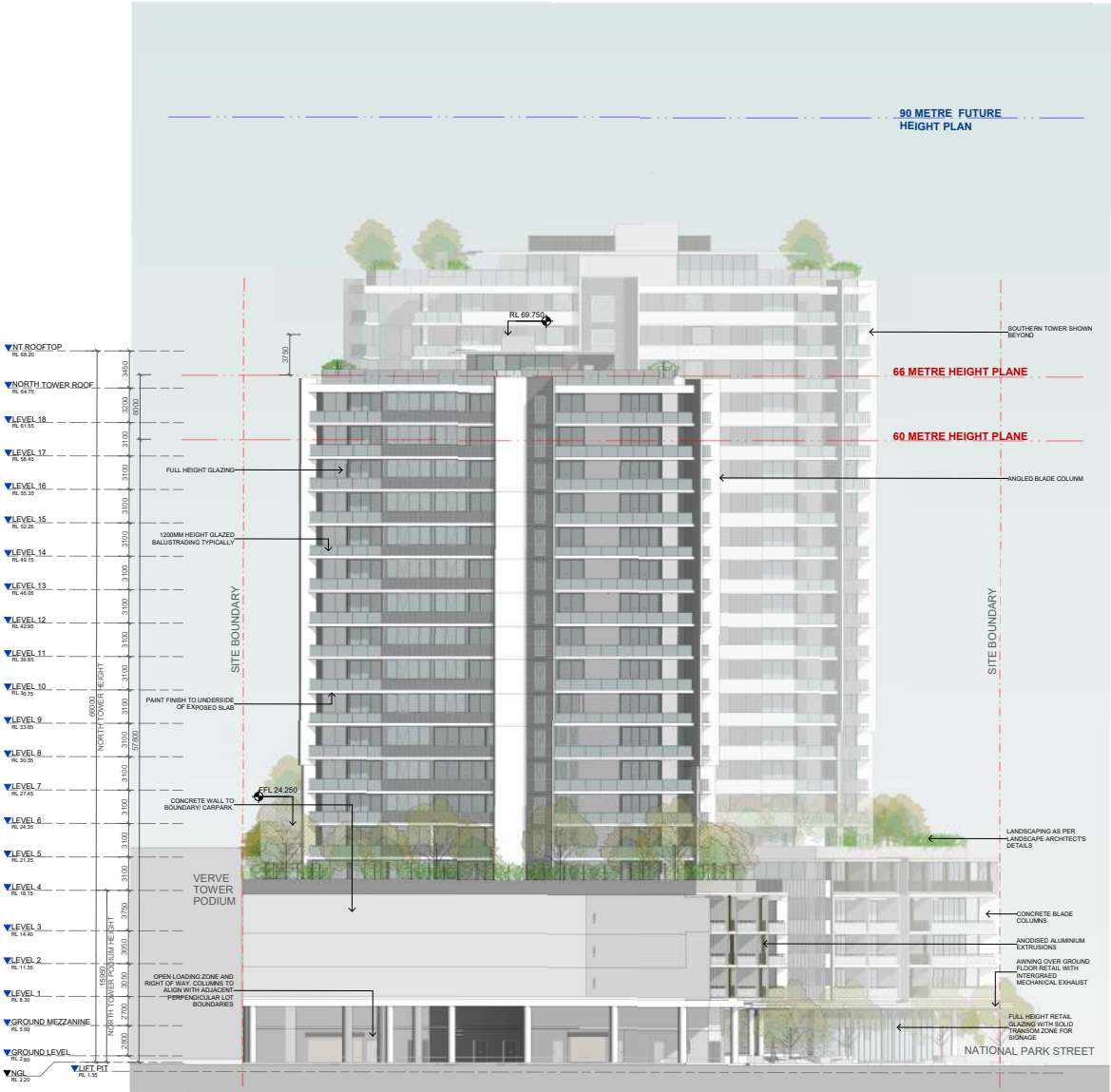
5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges. Vertical screens added to the East and West elevations to enhance the vertical architectural language in lieu of landscape planting to end of corridors.
6. Podium - More clearly defined and articulated row of Dulpexes.



# Elevation 04 - East Elevation



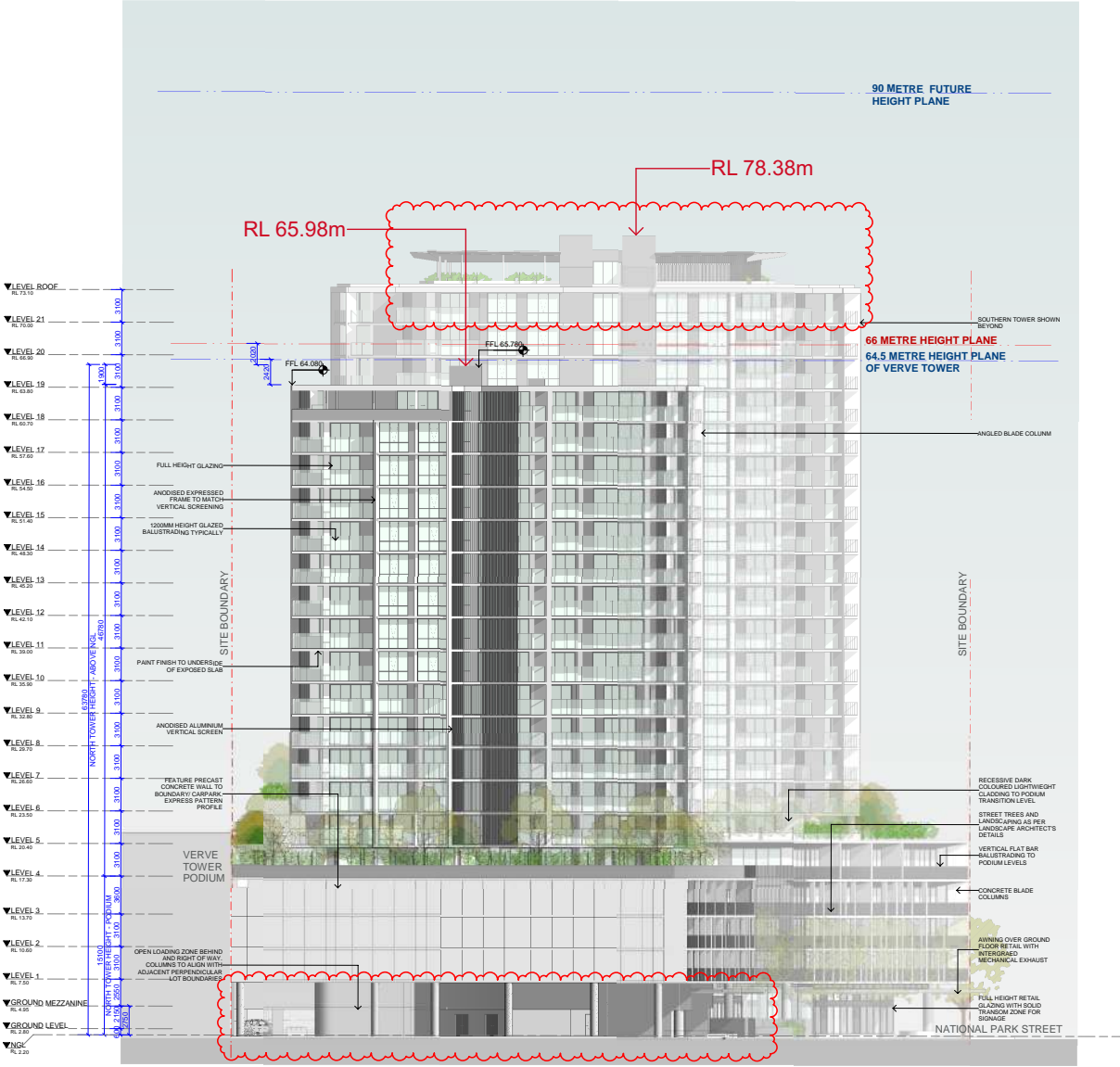
Elevation 04 - Approved DA



Elevation 04 - Revised DA

S4.55 COMPARISON

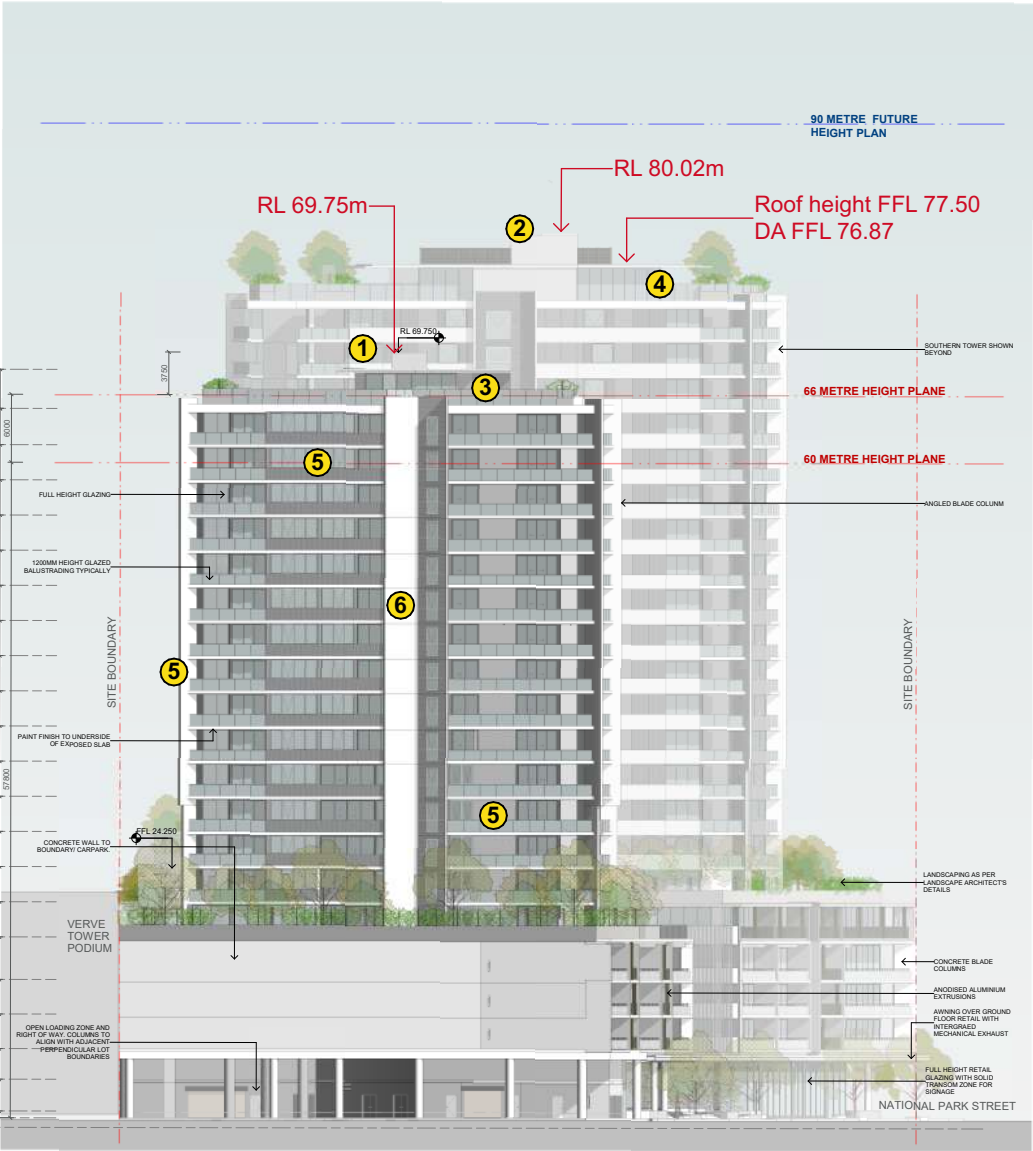
# Elevation 04 - East Elevation



Elevation 04 - Approved DA

## Key Changes:

- 1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.
- 2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
- 3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
- 4. Rooftop communal area on South building have been increased.

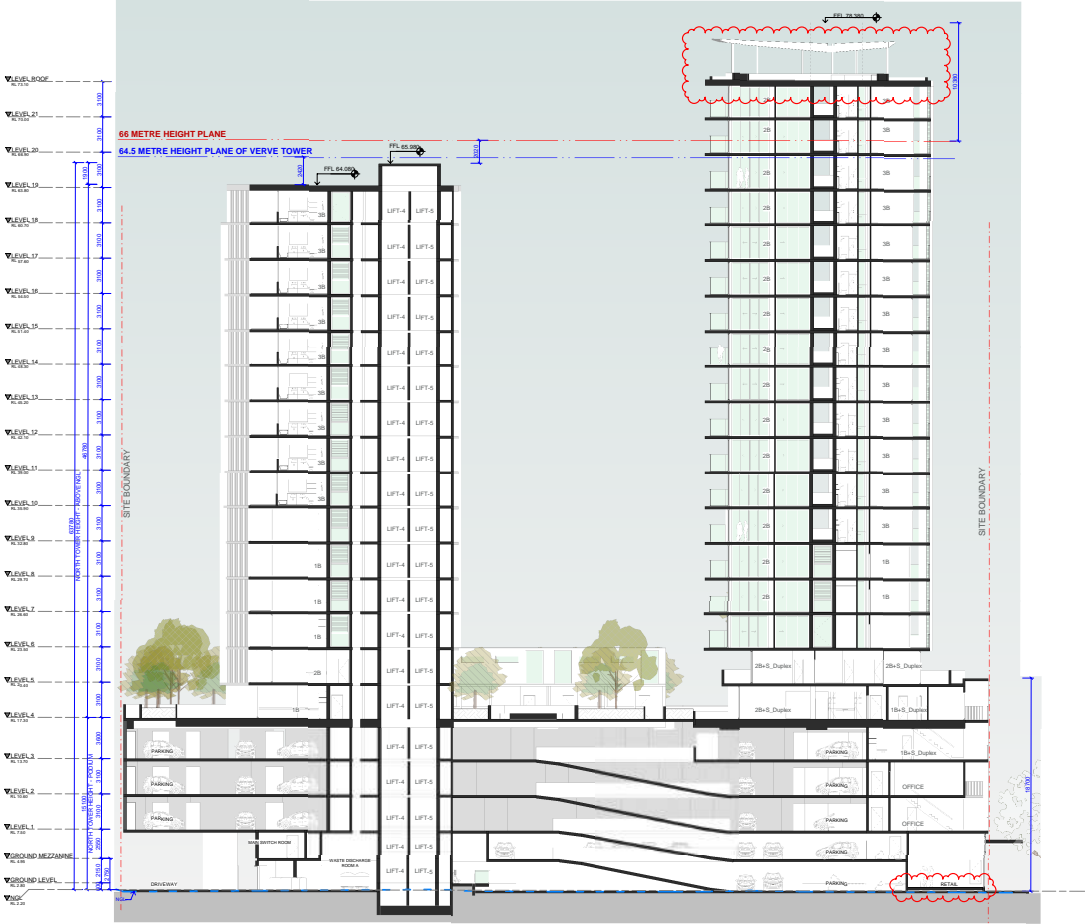


Elevation 04 - Revised DA

- 5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.
- 6. A central pre-cast slot has been introduced to articulate the tower forms and address councils request for reduction of horizontal design language on the tower.



Cross Section



Section - Approved DA

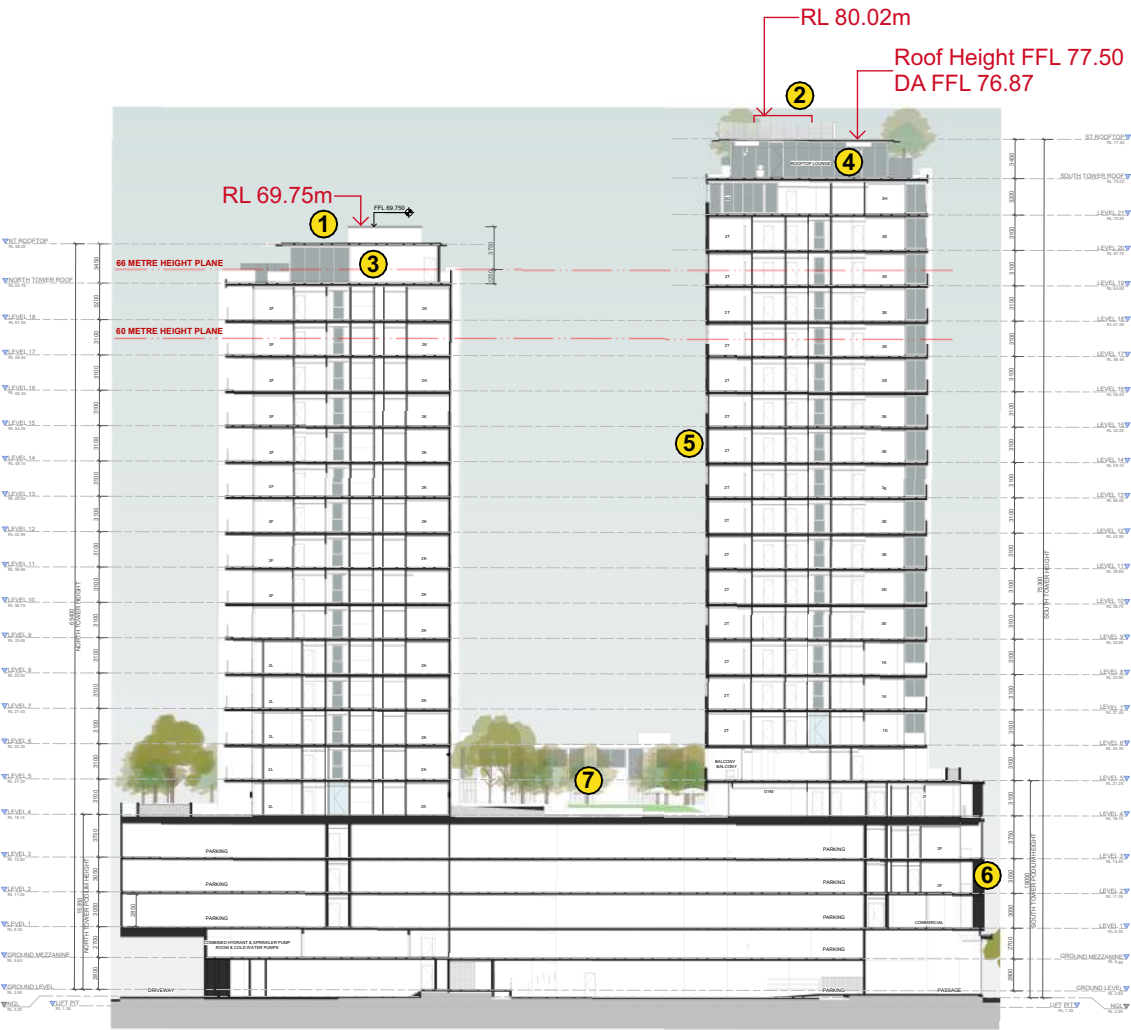


Section - Revised DA

# Cross Section



Section - Approved DA



Section - Revised DA

## Key Changes:

1. The height of the northern tower has increased from 65.98m (top of lift overrun) in the approved DA to 69.75m in the amended DA. An increase of 3.77m.
2. The height of the southern tower has increased marginally from 78.38m (top of lift overrun) in the approved DA to 80.02m in the amended DA. The actual roof level of the South tower has increased by just 630mm from FFL 76.87 TO 77.50.
3. The entire top floor of the Northern tower has now been dedicated entirely to communal functions.
4. Rooftop communal area on South building have been increased.

5. Reduce glazing / integrate the proposed pre-cast panels in the tower facades. The architectural language uses vertical blades and columns to create varied interest juxtaposing the horizontal language of the balustrades and slab edges.
6. Solid balustrades to podium levels have been introduces along with enclosed sections of glazing to improve resident amenity and address noise and privacy issues, particularly along King Street.
7. Enhance communal spaces with better amenity, including pool and podium.